

# Lot 210 Lord Sheffield Circuit - Penrith NSW

## Development Application Submission



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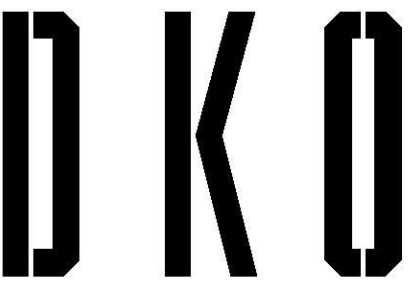
Rev.	Date	By	Ckd	Description
A	29/03/2019	MA	SO	Issue for Submission

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Urban Property Group  
Patrick Elias



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Drawing Transmittal - Lot 210			Drawing Transmittal - Lot 210			Drawing Transmittal - Lot 210			Drawing Transmittal - Lot 210		
Subset Name	Drawing No.	Description	Subset Name	Drawing No.	Description	Subset Name	Drawing No.	Description	Subset Name	Drawing No.	Description
Development Application - LOT 210				DA206	Adaptable Units		DA503	Shadow Diagram _ Approved DA		DA700	Notification Plan
	DA000	Project Coversheet		DA207	Adaptable Units		DA504	Shadow Diagram _ Proposal			
Site & Setout Drawings				DA208	Livable Housing Units		DA505	Shadow Diagram in 3D _ Approved DA			
	DA100	Site Plan	Elevations _Lot 210				DA506	Shadow Diagram in 3D _ Proposal			
	DA101	Location Plan		DA300	North & East Elevations		DA507	Shadow Diagram in 3D _ Proposal			
	DA102	Site Analysis Plan		DA301	South & West Elevations	Calculations					
	DA103	Development Summary	Perspectives				DA600	Solar Compliance - Lot 210			
	DA104	Demolition Plan		DA310	Perspectives - Sheet 1		DA601	Cross Ventilation - Lot 210			
GA Plans _ Lot 210				DA311	Perspectives - Sheet 2		DA602	GFA Calculation - Lot 210			
	DA200	Basement L2 & Basement L1	Section _ Lot 210				DA603	Apartment Mix - Lot 210			
	DA201	GF & L1		DA400	Sections 1&2 _ Lot210		DA604	Storage Plans			
	DA202	L2-4 & L5		DA401	Sections 3&4 _ Lot 210		DA605	Storage Plans			
	DA203	L6 & L7	Shadow & Solar Analysis				DA606	C.O.S Calculation - Lot 210			
	DA204	L8 & Mezzanine Level		DA501	Eye of sun		DA607	C.O.S Solar Access _Lot 210			
	DA205	Roof Level		DA502	Solar Access Calculations to Lot 3105 Lord Sheffield Circuit	Notification Plans					



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David Randerson 8542

Project Name  
Project Number  
Project Address

Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale

March 2019  
1:1 @ A1

Drawing Series  
Drawing Name

Development Application - LOT  
210  
Project Coversheet

Drawing Number **DA000**  
Revision **A**



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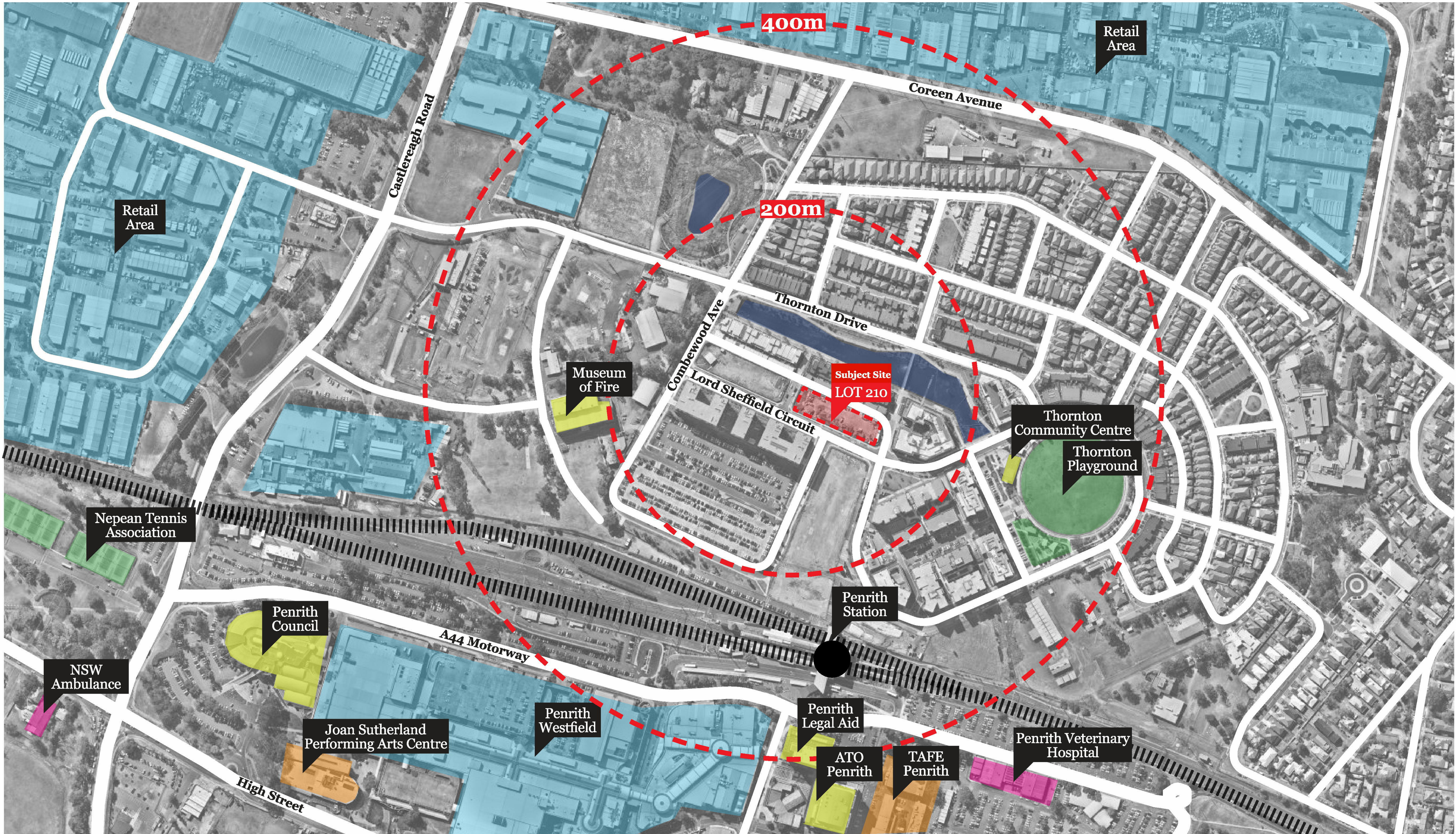
Drawing Series  
Drawing Name

Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

March 2019  
1:400 @ A1

Site & Setout Drawings  
Site Plan

Drawing Number **DA100**  
Revision **A**



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Key

- Public
- Health
- Commerical / Retail
- Education / Culture
- Public Open Space
- Train Line
- Train Station

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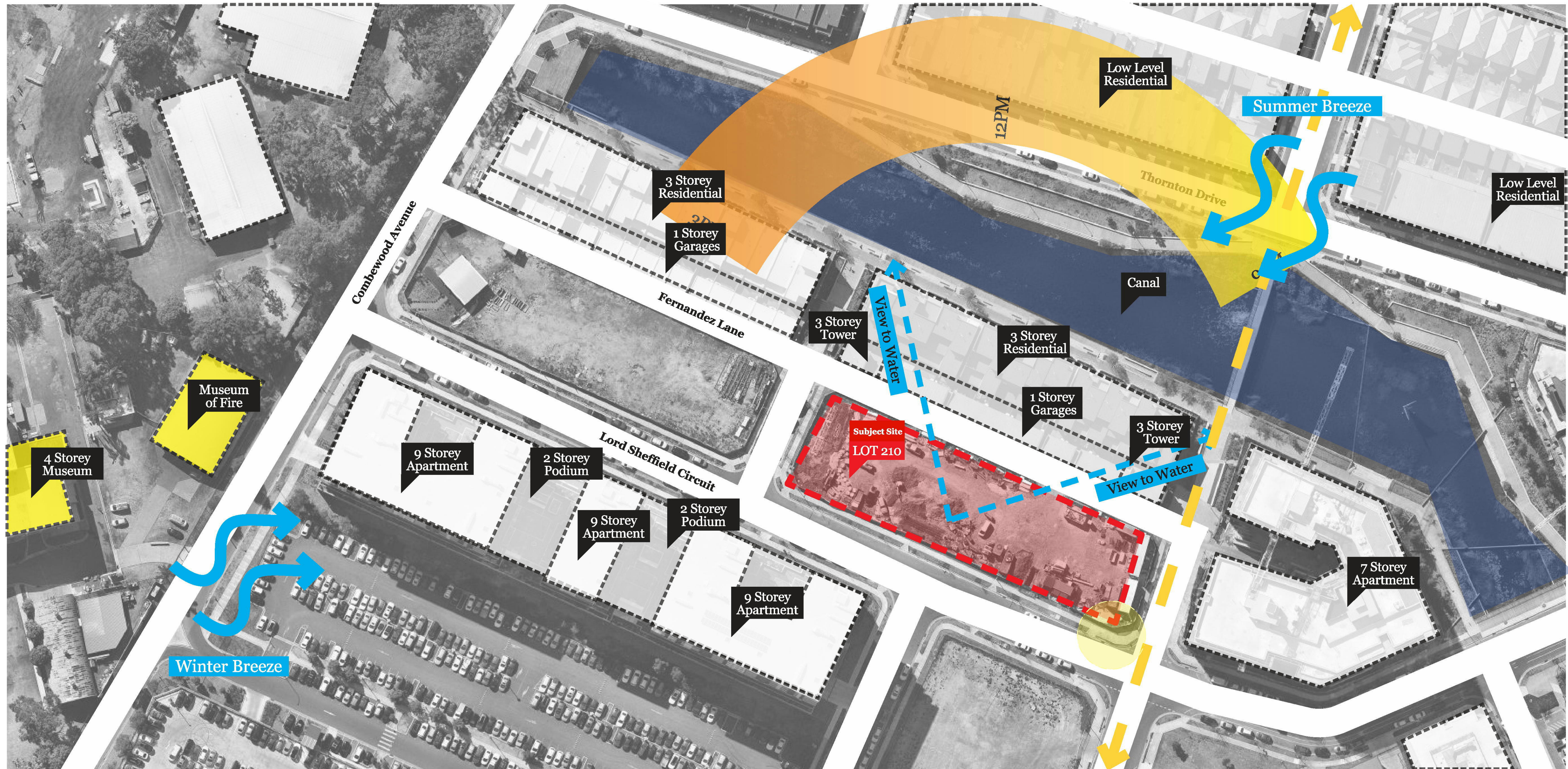
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Drawing Series  
Drawing Name

North Arrow  
Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

Site & Setout Drawings  
Location Plan

Drawing Number **DA101**  
Revision **A**



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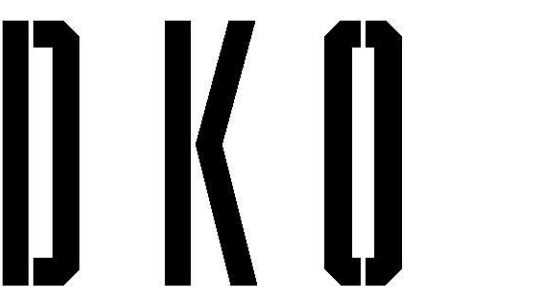
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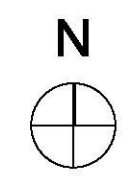
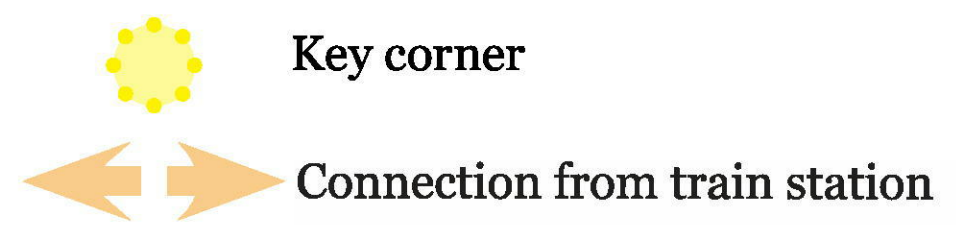
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Drawing Series  
Drawing Name

Site & Setout Drawings  
Site Analysis Plan

Drawing Number  
Revision

DA102  
A



Lot 210 Lord Sheffield Circuit Penrith  
Yield Table

Lot 210 Lord Sheffield Circuit Penrith

	Controls	Proposed
Site Area	3,084	
FSR	NA	4.4
GFA	NA	13,712
Height	32m	

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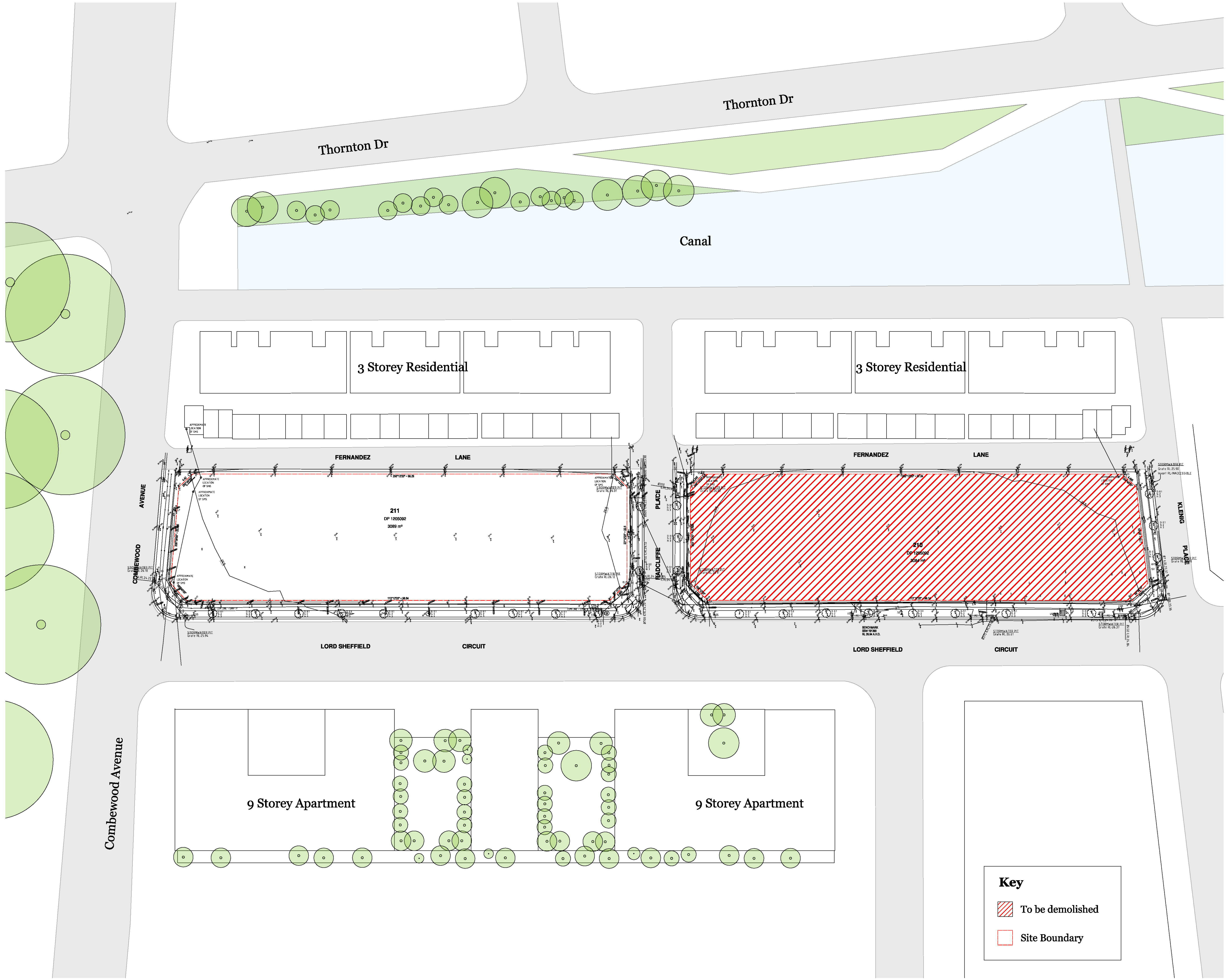
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	Car Parking	Studios	1 Bed	1Bed+S	2 Bed	2Bed+S	3 Bed	4 Bed (3 Bed +S)	Subtotal	NSA (incl. Comm.room)	GFA	DA Sub. GFA	Cross	Solar	No Solar
Basement 2	84														
Basement 1	57														
1 Ground	21				2		3		5	682	994		1	1	4
2 Level 1			10		7			1	18	1337	1599		10	13	3
3 Level 2			7	1	10		1		19	1441	1671		11	14	3
4 Level 3			7	1	10		1		19	1441	1671		11	14	3
5 Level 4			7	1	10		1		19	1441	1671		11	14	3
6 Level 5			4	1	12		1		18	1434	1665		11	13	3
7 Level 6			2		14		1		17	1409	1639		11	12	1
8 Level 7			3	1	7		1		12	930	1126		10	10	0
Level 8			3	1	3	2	5		14	772	971		10	11	1
Mezz Level										452	468				
Roof															
Subtotal	162	0	43	6	75	2	14	1	141	11339	13475	0	86	102	21
DA Submission	142	0	27	0	56	10	17		110				0.61	0.72	0.15
Proposed Mix		0%	35%		55%		10%	1%	100%						
DA Submission Mix			25%		60%		15%		100%						

Parking Rates

Residential	Dwelling Type		Number of Dwellings	DCP Rates (Part E11)	Required Spaces	RMS Rates	Required Spaces
	Studio		0	0.5 per unit	0	N/A	
	1B		49	1 per unit	49	0.4 per unit	20
	2B		77	1 per unit	77	0.7 per unit	54
	3B		15	2 per unit	30	1.2 per unit	18
	Visitor		141	On Street	0	on- street	
					156		92





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March 2019  
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Drawing Series  
Drawing Name

Site & Setout Drawings  
Demolition Plan

Drawing Number **DA104**  
Revision **A**

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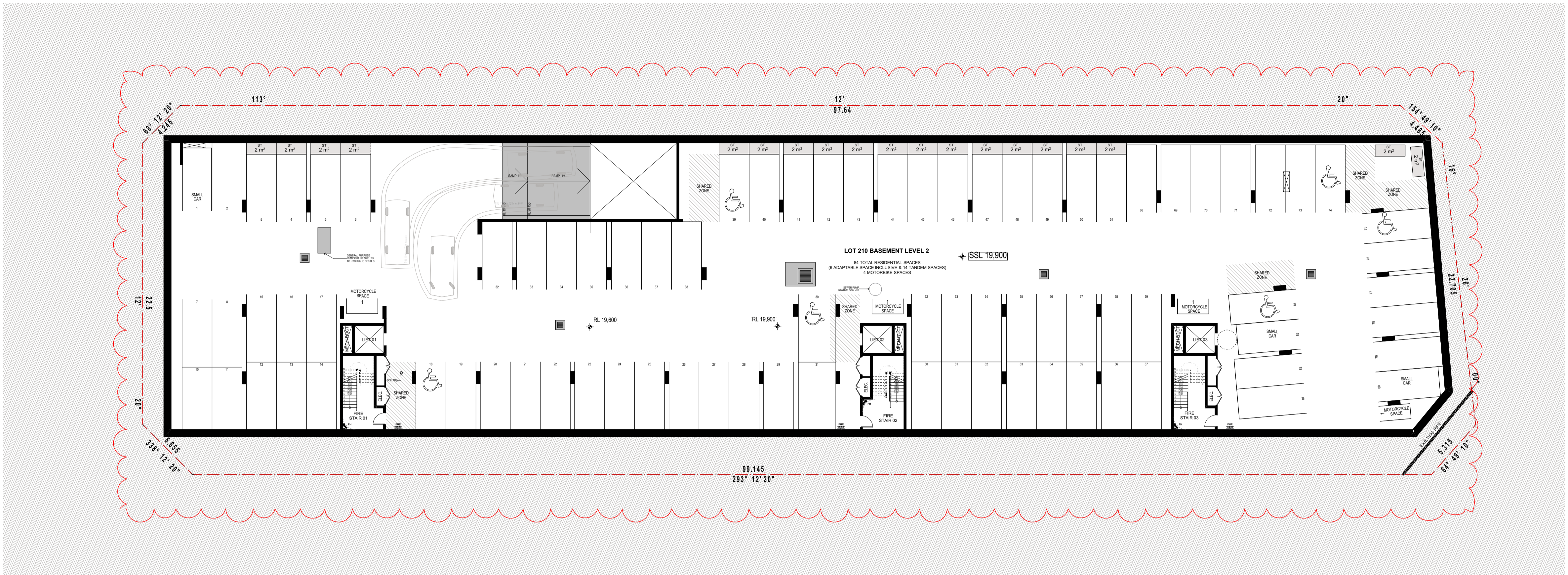
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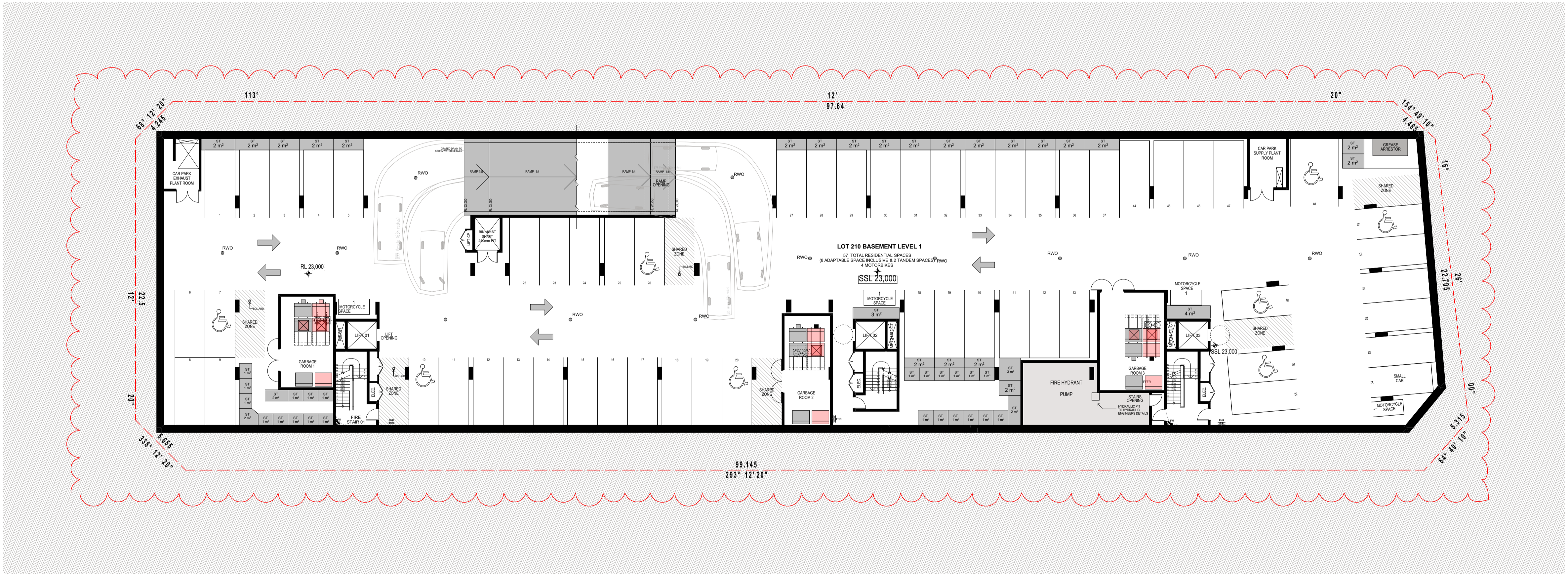
GA Plans\_ Lot 210  
Basement L2 & Basement L1

Drawing Number  
Revision

**DA200**  
**B**



-2. Basement 2 1:200



-1. Basement 1 1:200

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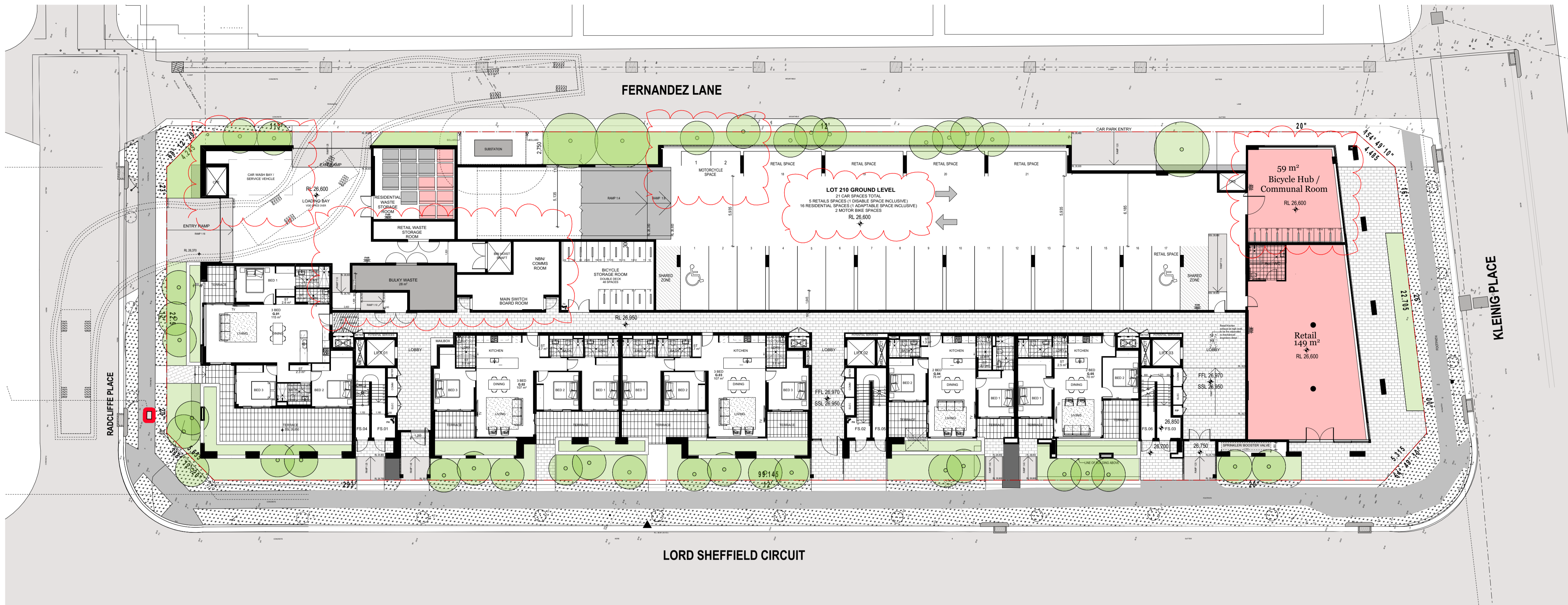
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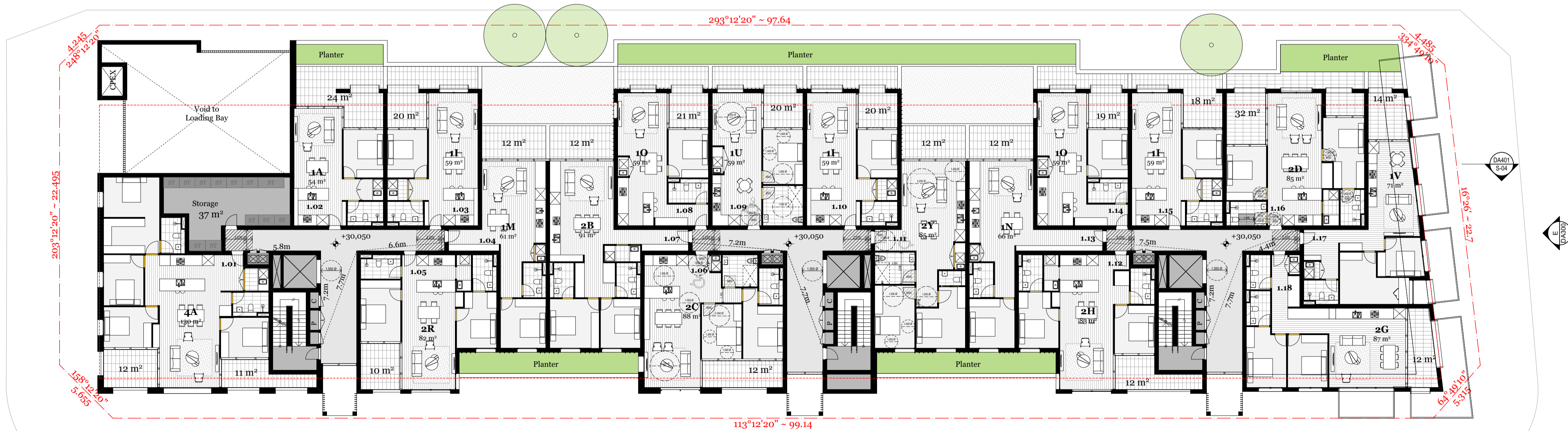
GA Plans\_Lot 210  
GF & L1

Drawing Number  
Revision

**DA201**  
**B**



0. Ground Floor 1:200



1. Level 1 1:200

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A	29/03/2019	MA	SO	Issue for Submission

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Project Name  
Project Number  
Project Address

Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale

March 2019  
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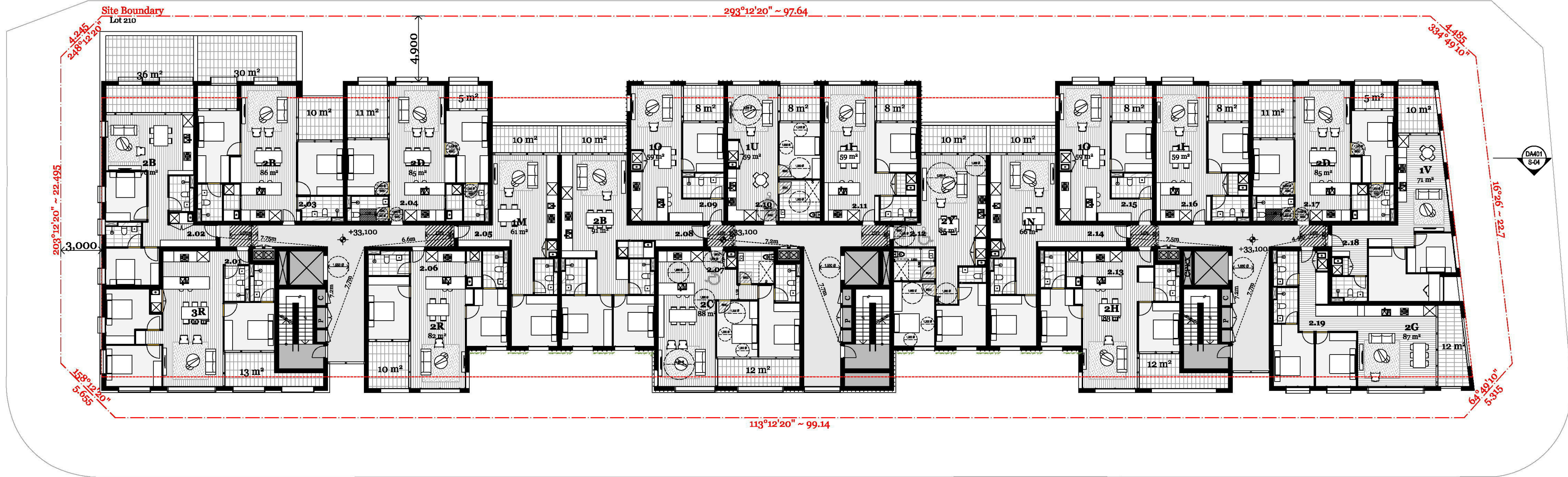
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GA Plans\_Lot 210  
L2-4 & L5

Drawing Number  
Revision

DA202  
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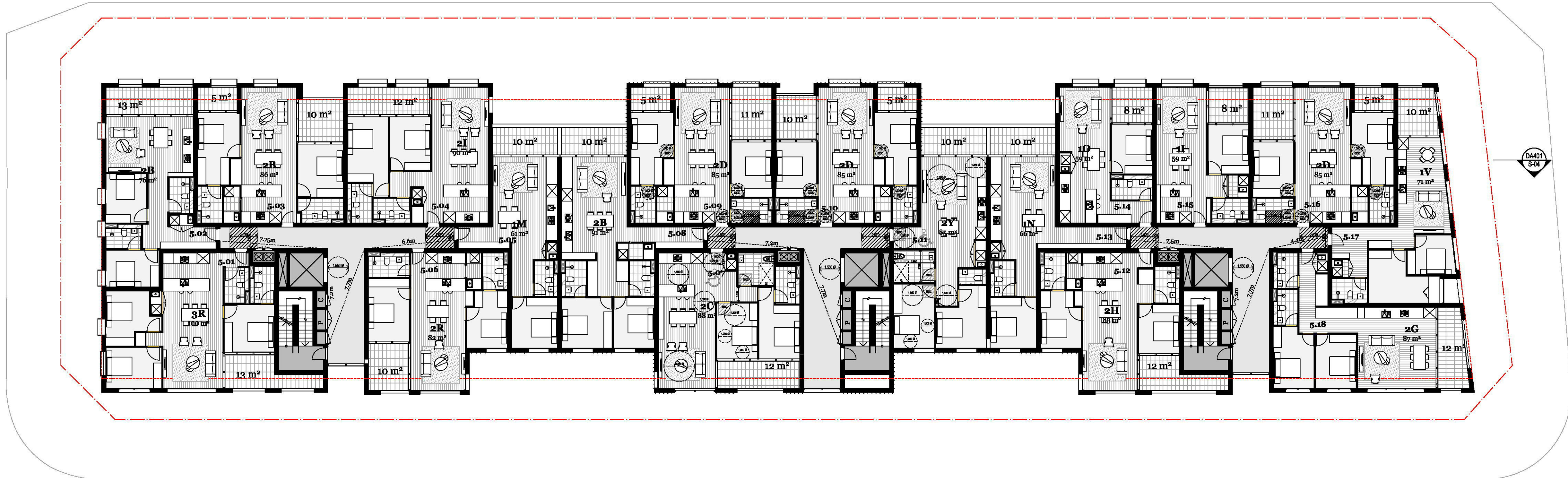
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Lord Sheffield Circuit

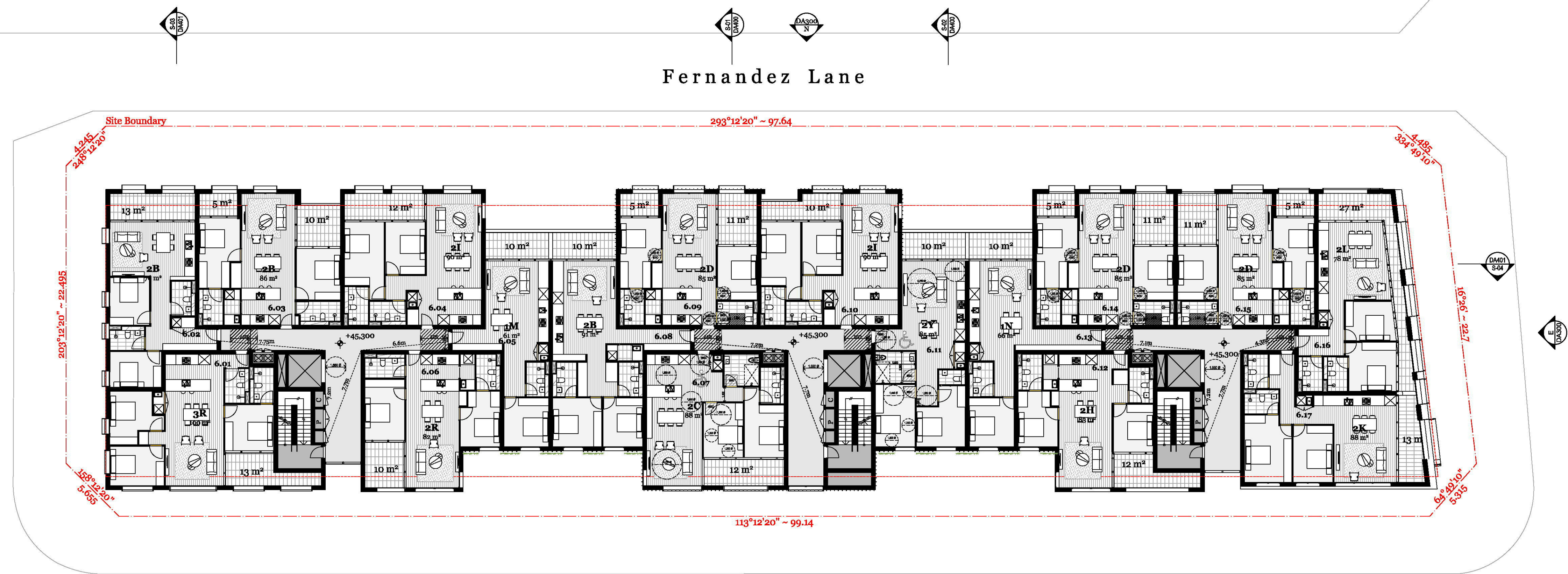
2. Level 2-4 1:200

Fernandez Lane

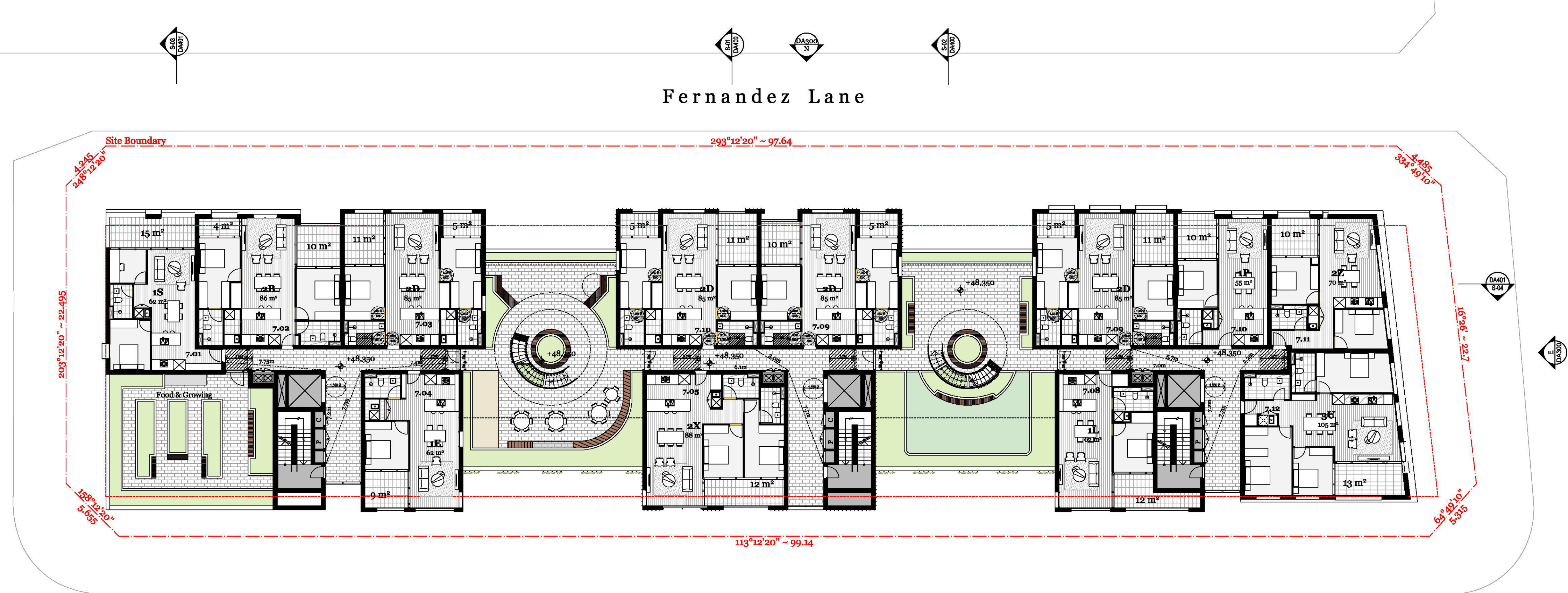


Lord Sheffield Circuit

5. Level 5 1:200



6.	Level 6	1:200
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7. Level 7 1:200

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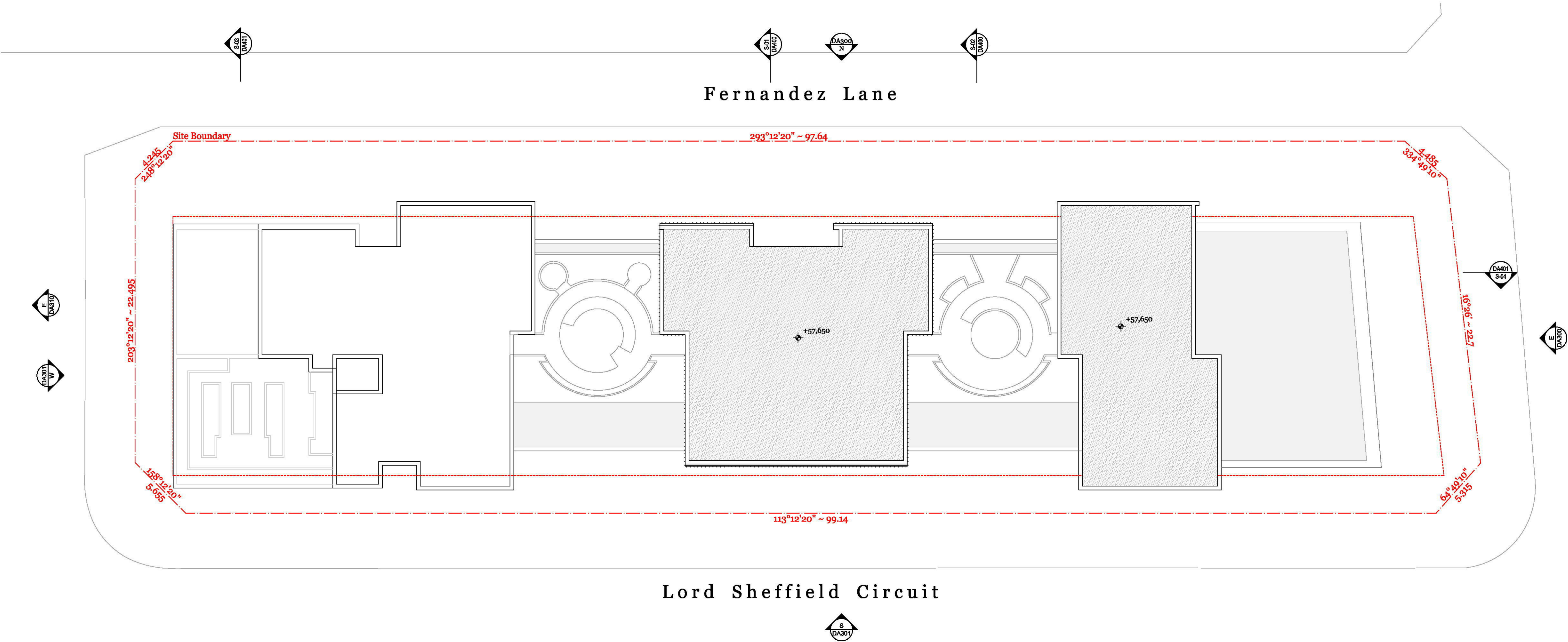
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Date	March 2019
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Drawing Series	GA Plans_ Lot 210
Drawing Name	1&8 & Mezzanine Level

Drawing Number	DA204
Revision	A

8. Level 8 1:200

9. Mezzanine 1:200



10. Roof Level 1:200

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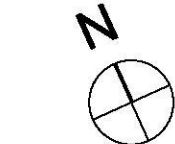
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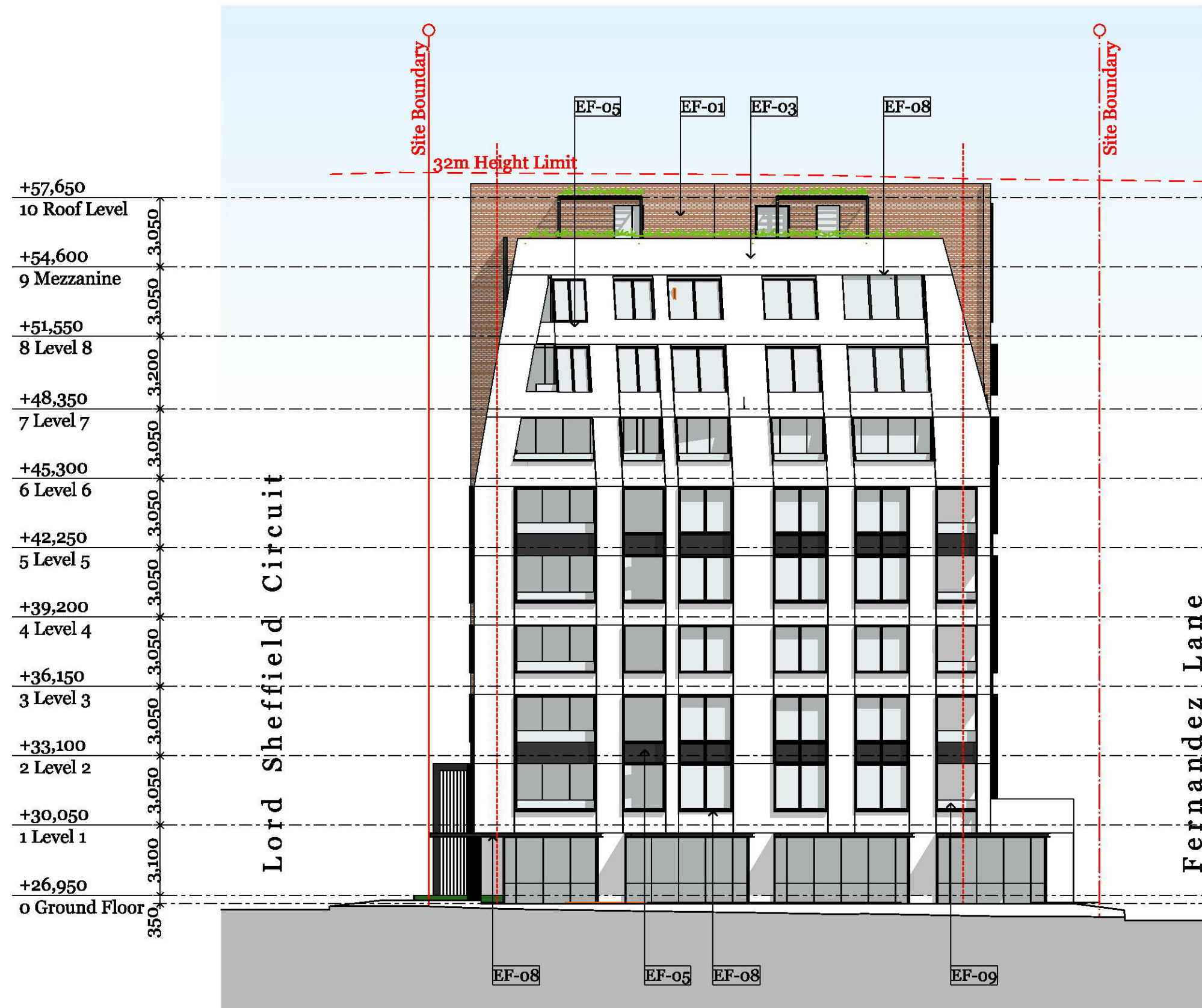
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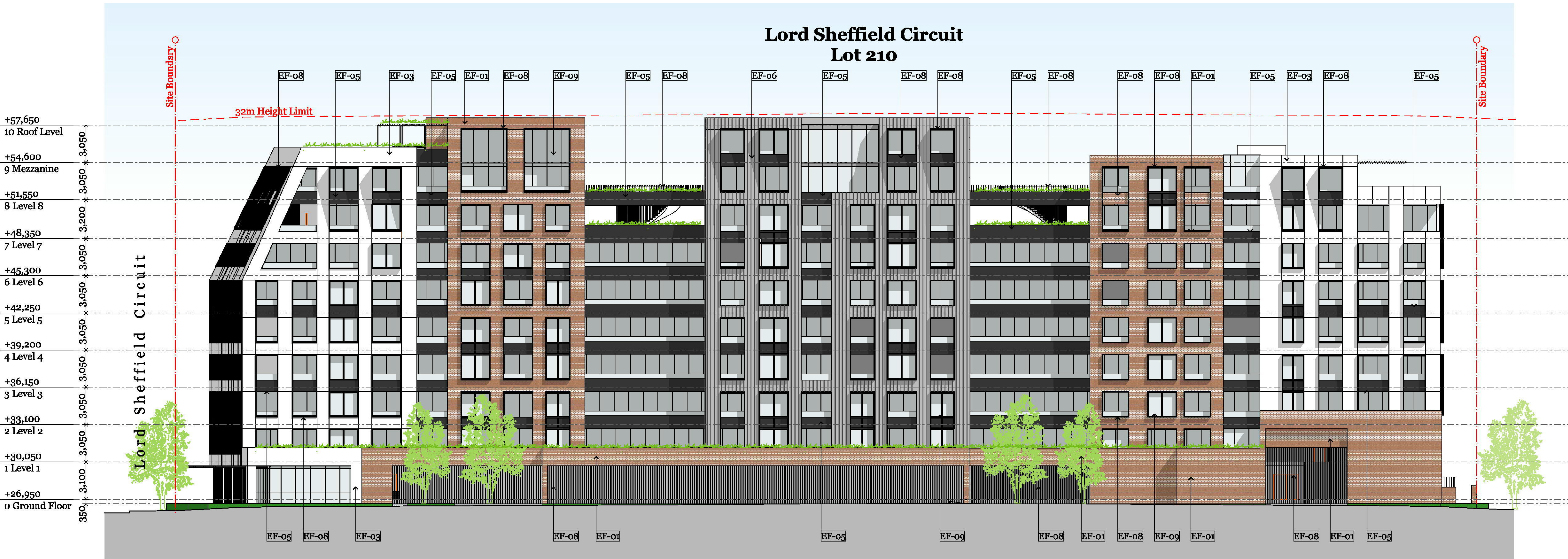
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Drawing Series	GA Plans_ Lot 210
Drawing Name	Roof Level

Drawing Number **DA205**  
Revision **A**



East Elevation - Lot 210 1:200



North Elevation - Lot 210 1:200

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Date  
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March 2019  
1:200 @ A1

Drawing Series  
Drawing Name

Elevations\_Lot 210  
North & East Elevations

Drawing Number  
Revision

DA300  
A



W West Elevation - Lot 210 1:200

### External Finishes Key



Rev.	Date	By	Ckd	Description
A	20/03/2019	MA	SO	Issue for Submission

Client Details  
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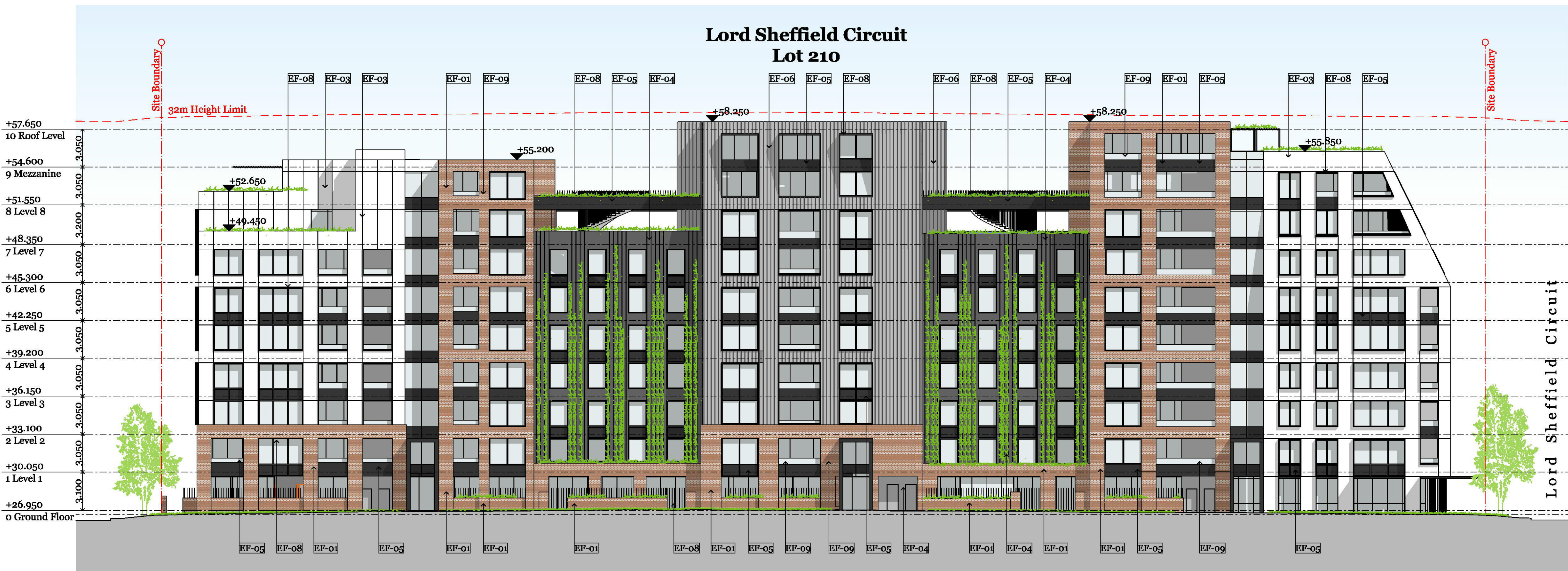
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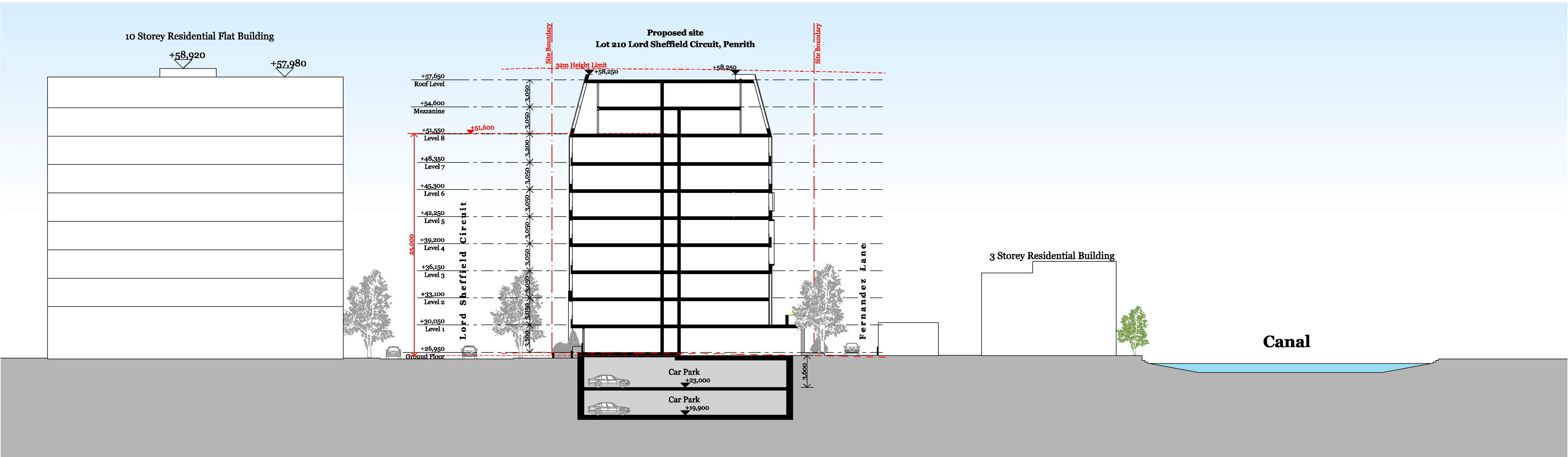
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Elevations\_Lot 210  
South & West Elevations

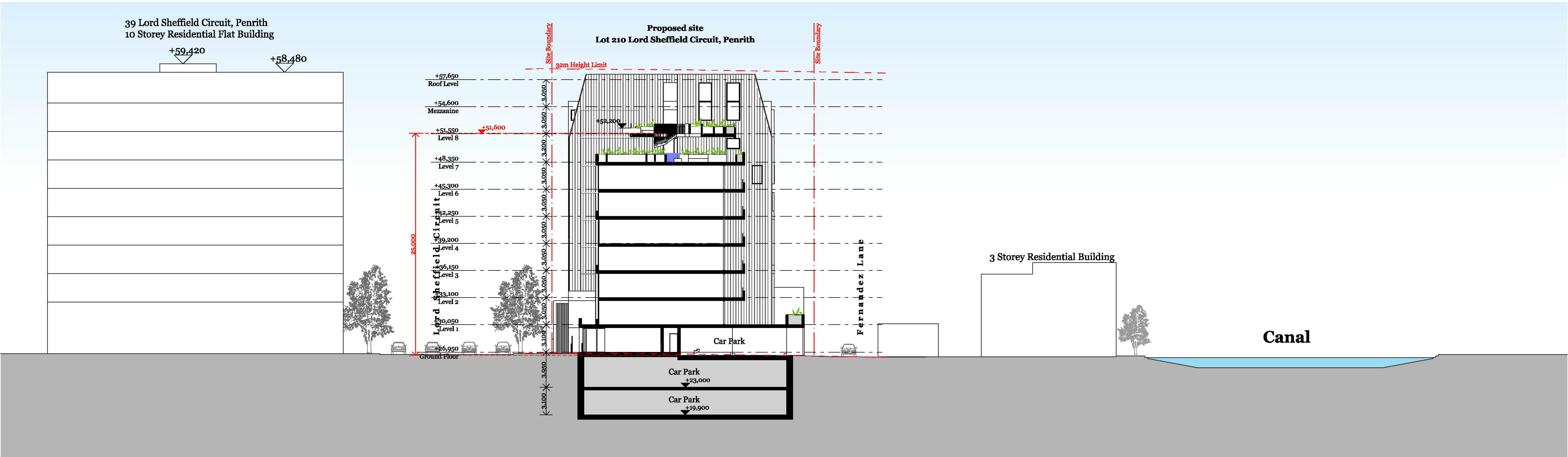
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Revision **A**



S South Elevation - Lot 210 1:200



S-01 Section 1 - Lot 210 1:250



S-02 Section 2 - Lot 210 1:250

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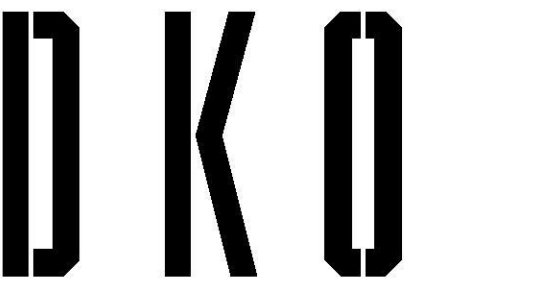
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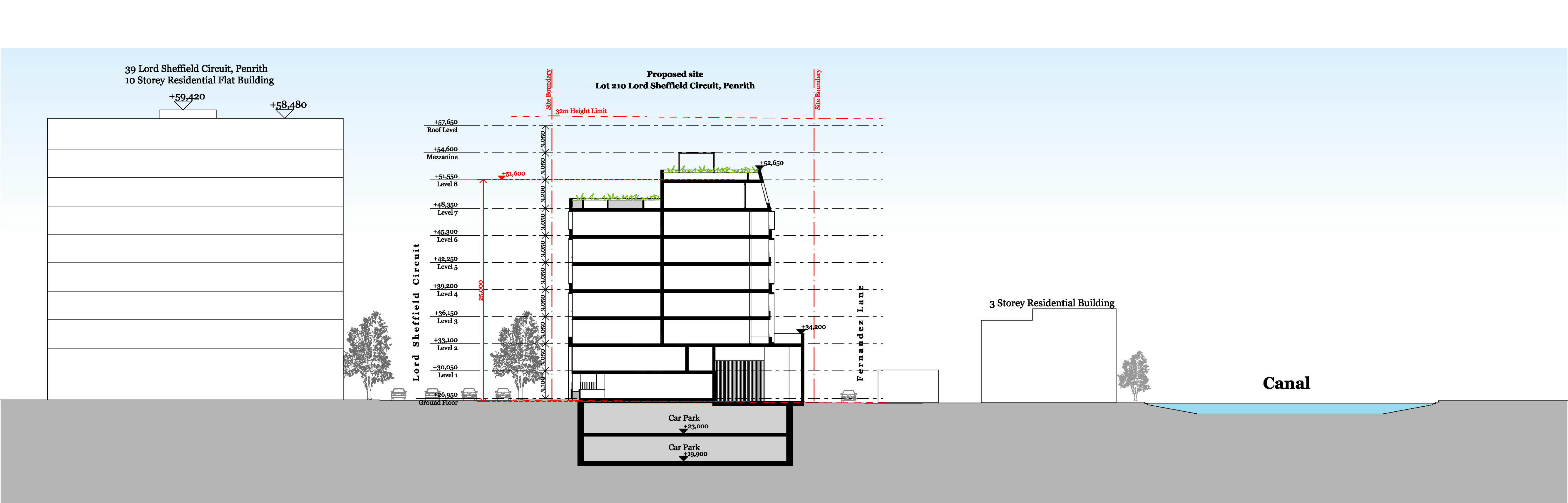
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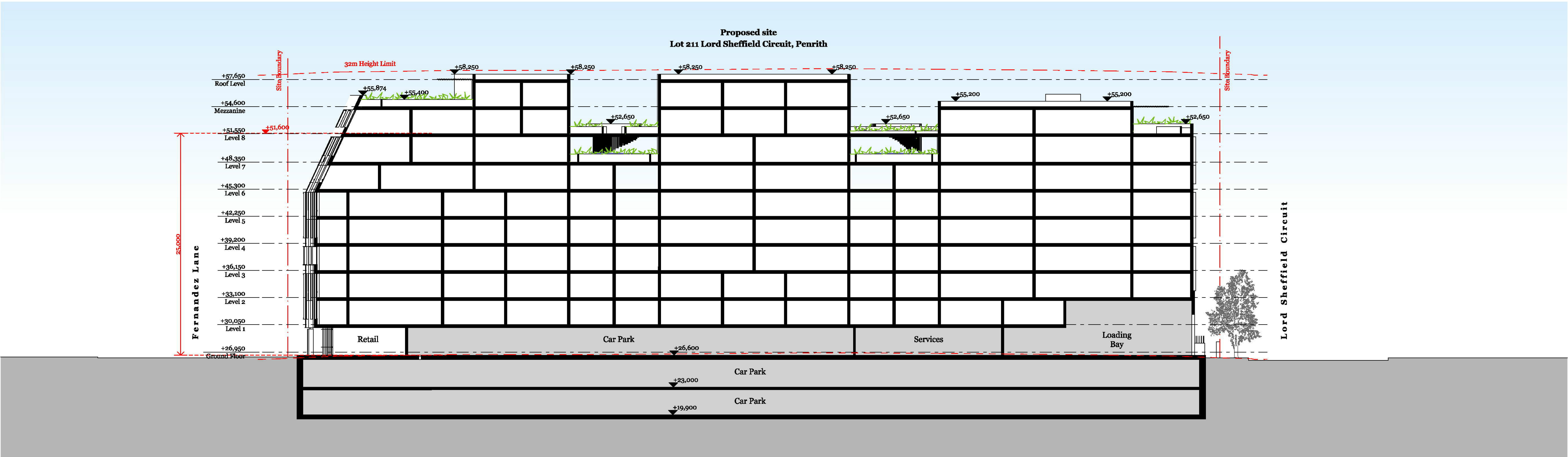
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Section \_ Lot 210  
Sections 1&2 \_ Lot210

Drawing Number  
Revision  
DA400  
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S-03 Section 3 - Lot 210 1:250



S-04 Section 4 - Lot 210 1:250

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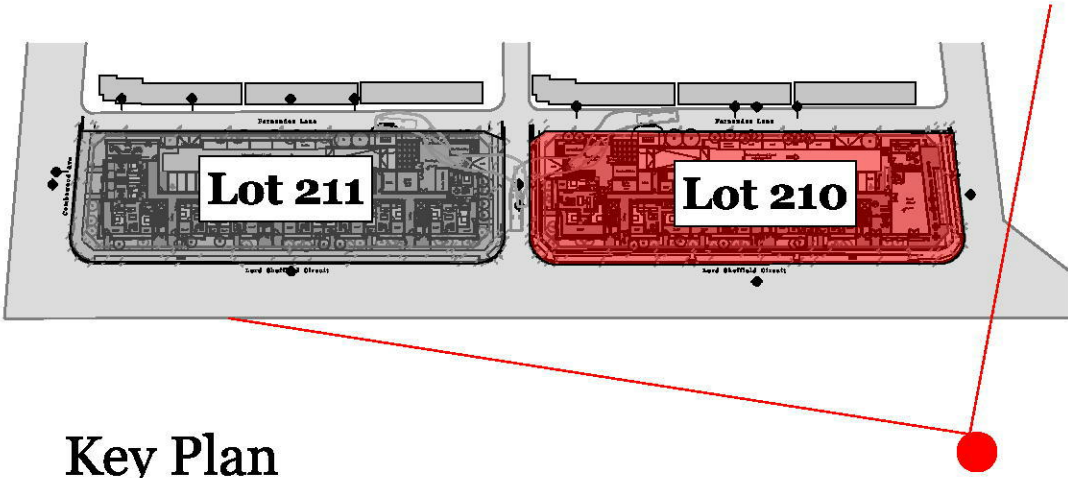
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Drawing Series	Section _ Lot 210
Drawing Name	Sections 3&4 _ Lot 210

Drawing Number **DA401**  
Revision **A**



Key Plan



Key Plan

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1:2000 @ A1

Drawing Series  
Drawing Name

Perspectives  
Perspectives - Sheet 1

Drawing Number  
Revision  
DA310  
A



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ABN: 81956706590  
NSW: Nominated Architects  
Kees de Keijzer 5767  
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Project Name  
Project Number  
Project Address

Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale

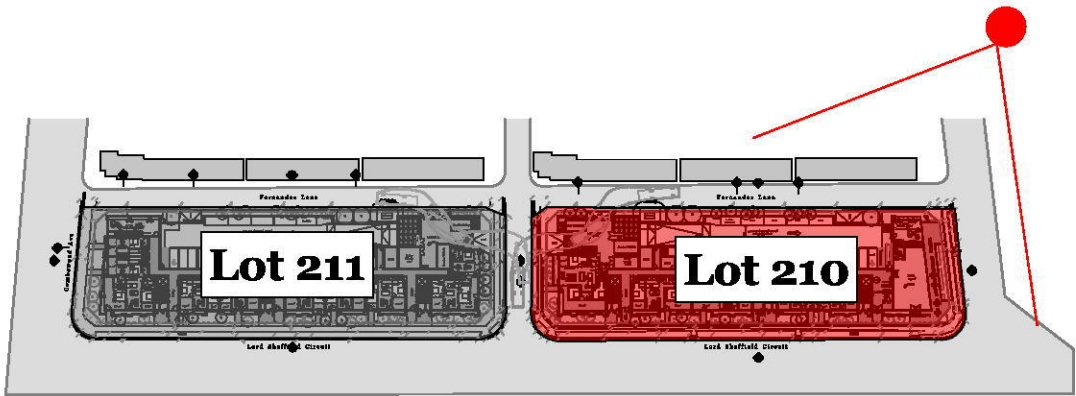
March 2019  
1:2000 @ A1

Drawing Series  
Drawing Name

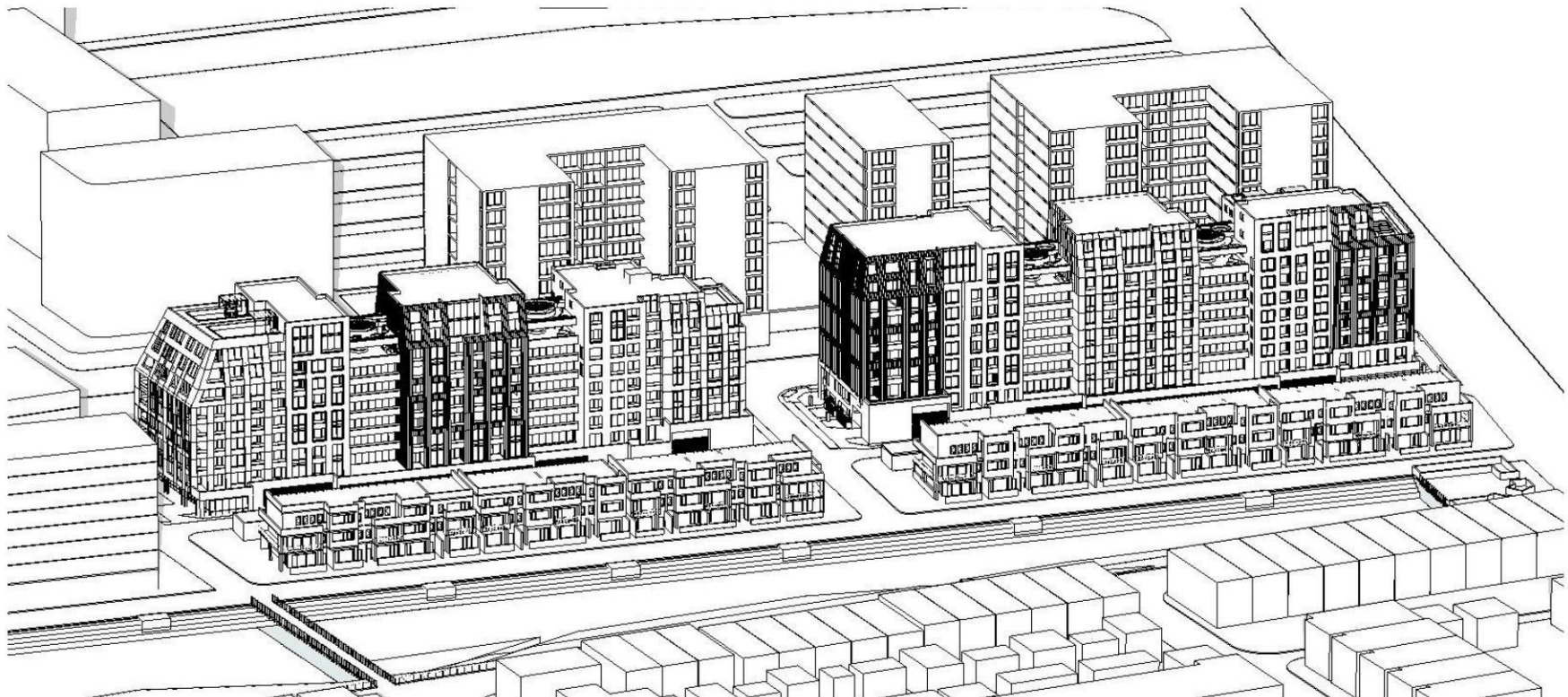
Perspectives  
Perspectives - Sheet 2

Drawing Number  
Revision

DA311  
A



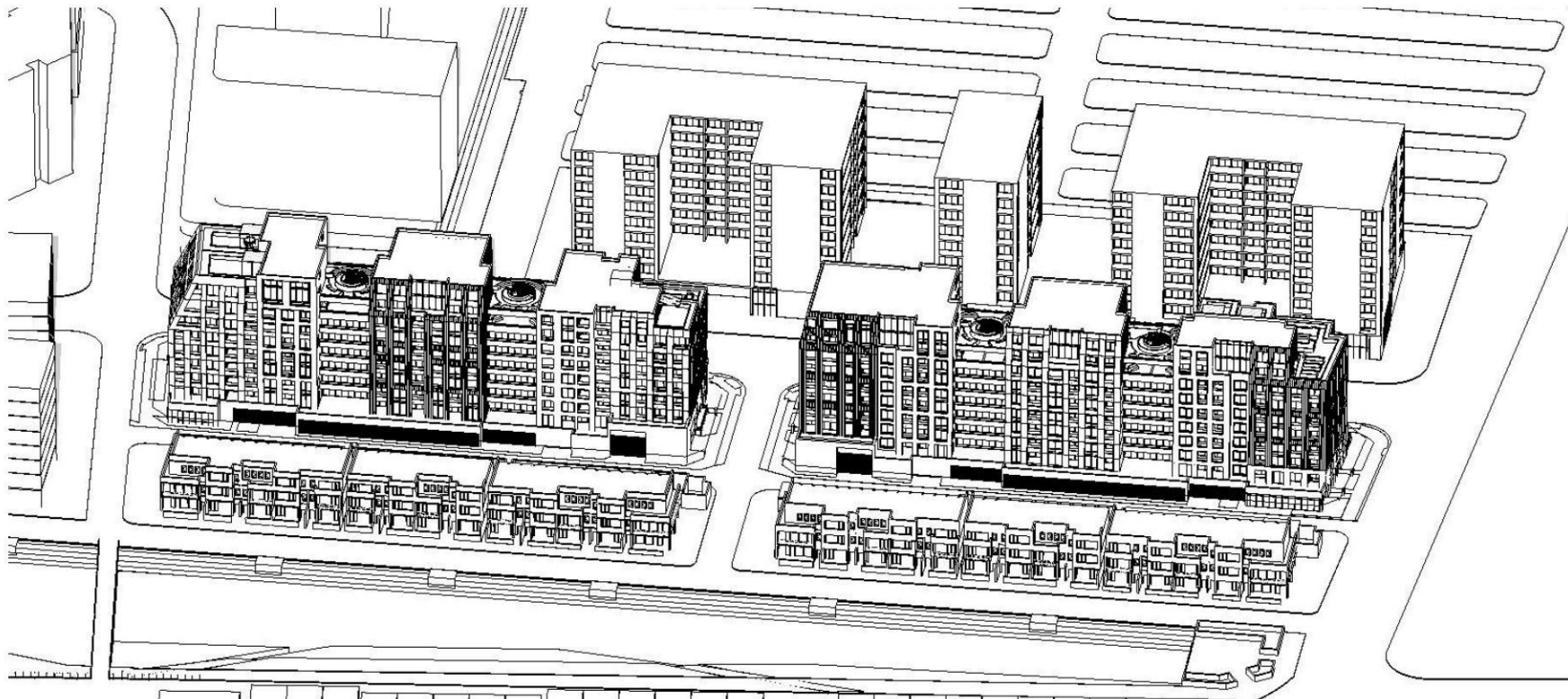
Key Plan



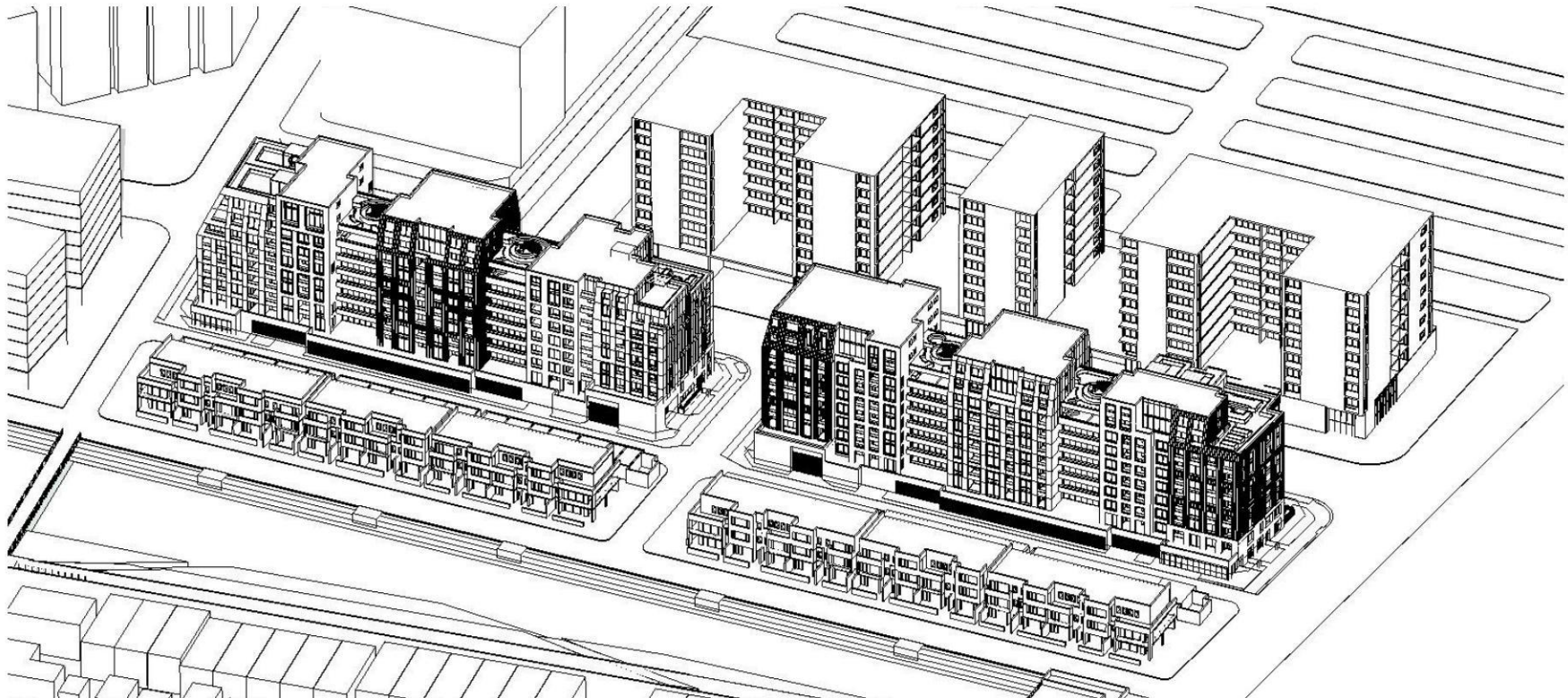
9am



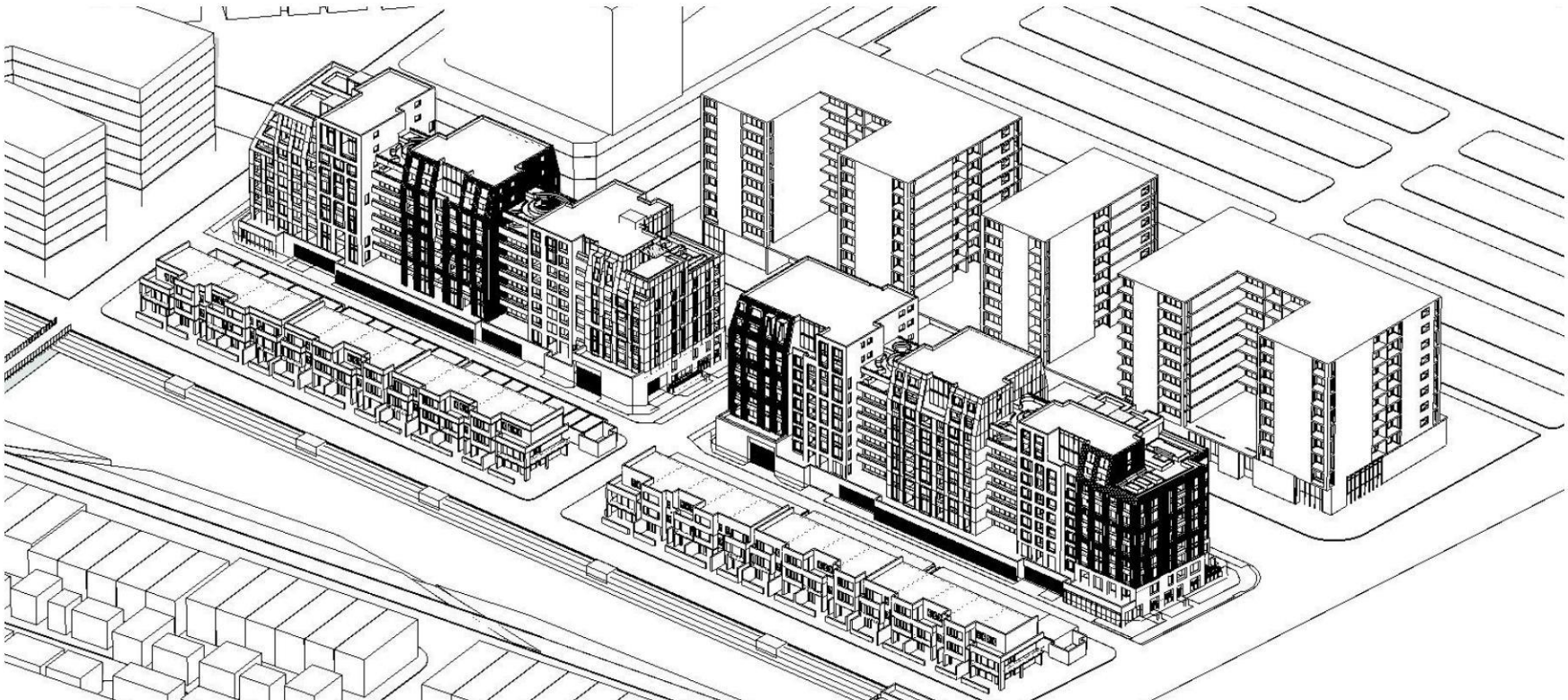
10am



11am



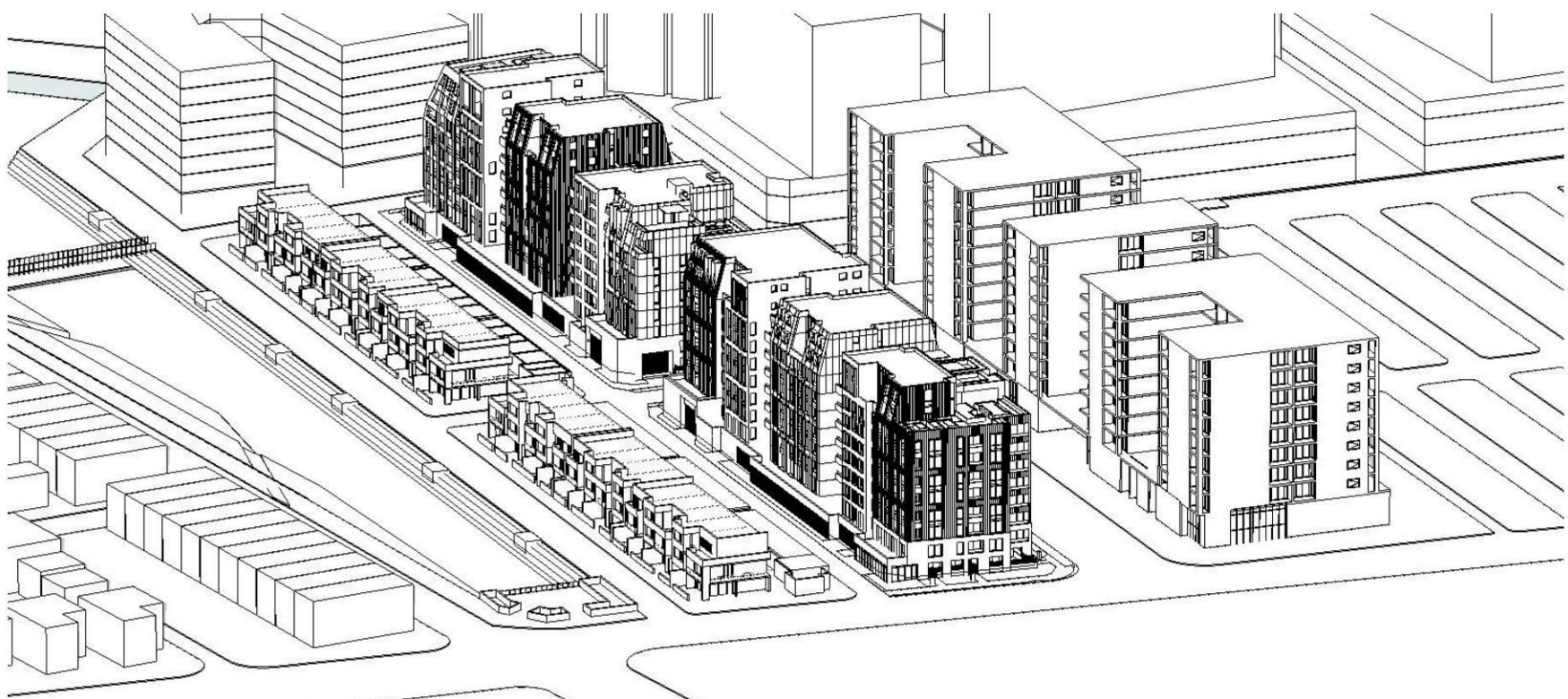
12pm



1pm



2pm



3pm

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construction shall not commence prior to return of inspected shop  
drawings by the Architect/Consultant.

Rev.	Date	By	Ckd	Description
A	26/03/2019	MA	SO	Issue for Submission

Client Details  
Urban Property Group  
Patrick Elias

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Kees de Keijzer 5767  
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Project Name  
Project Number  
Project Address

Drawn By  
Checked By  
Date  
Scale

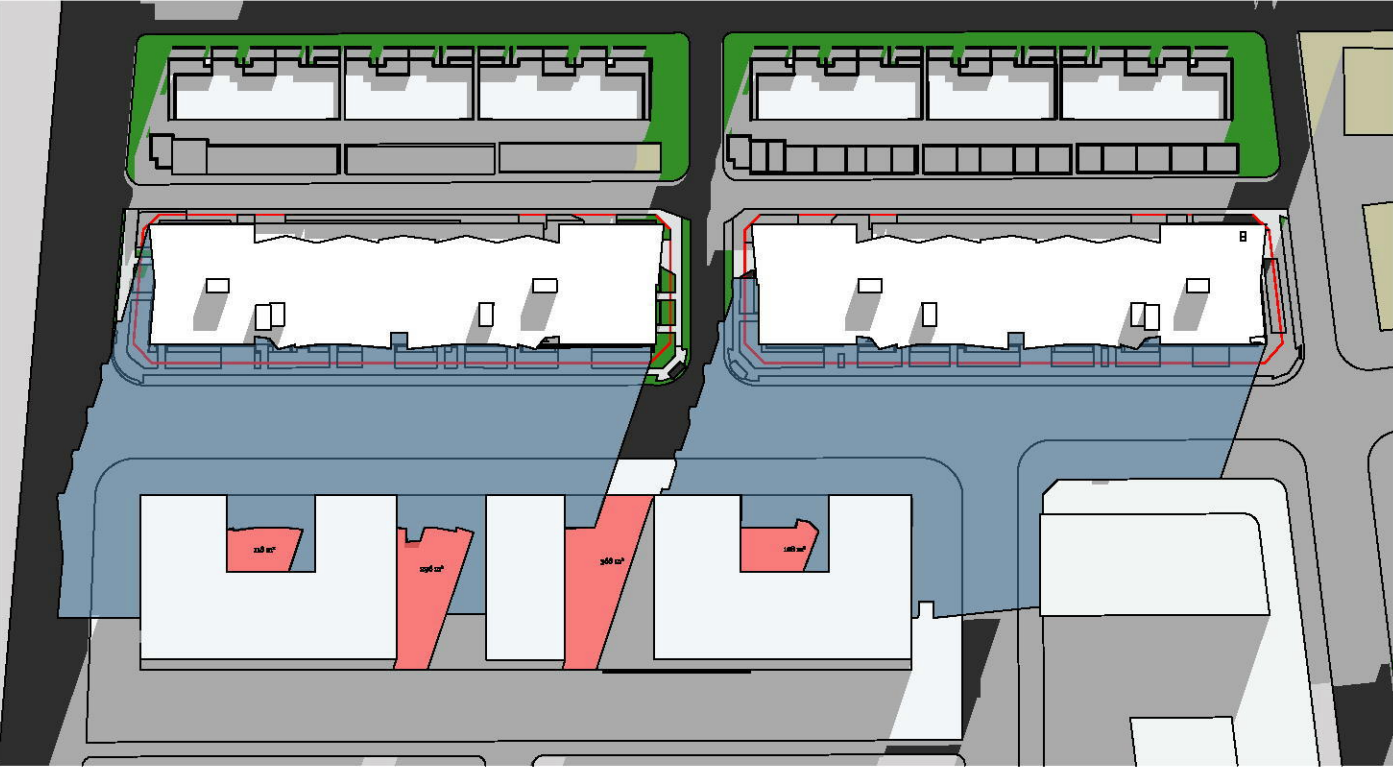
March 2019  
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Shadow & Solar Analysis  
Eye of sun

Drawing Number  
Revision

DA501  
A

Approved DA



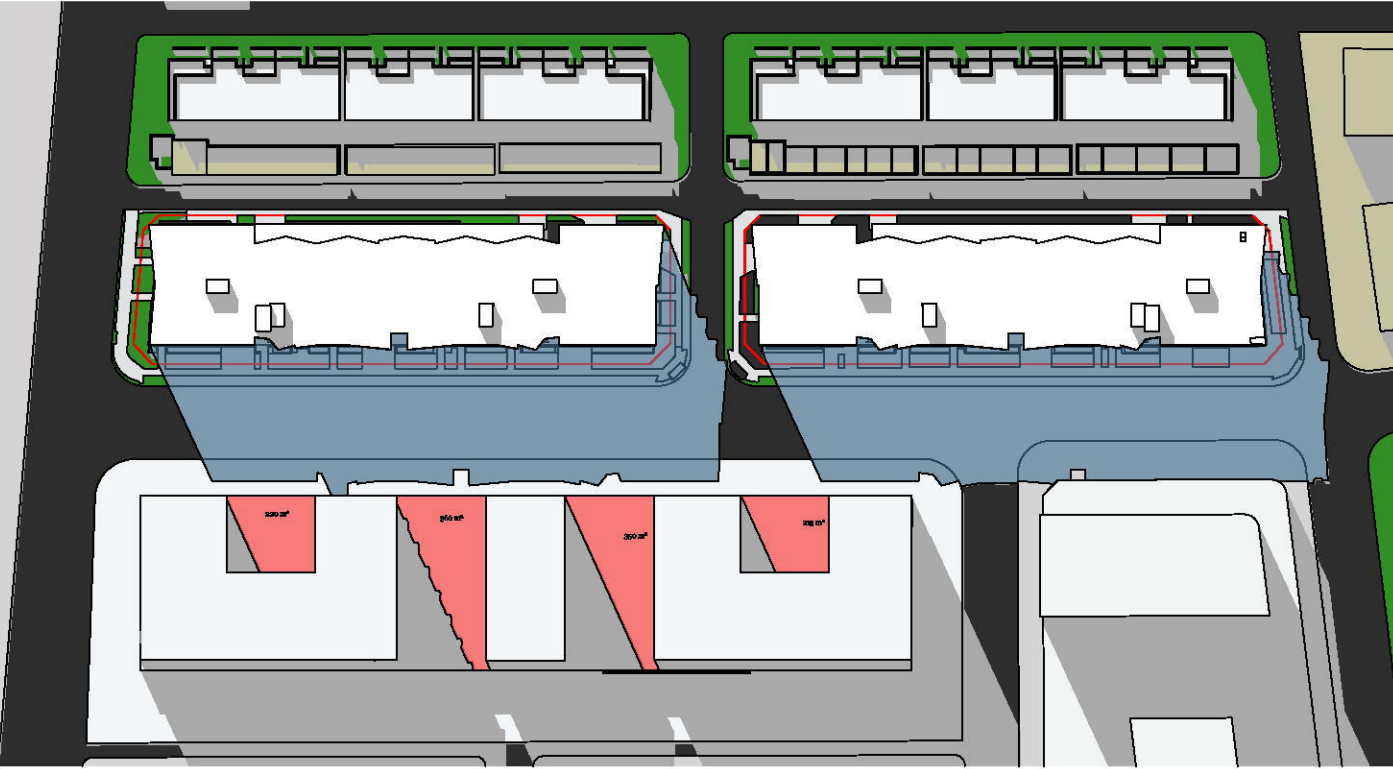
Shadow Analysis\_ 9am 1:1500  
910sqm(=51.4% \* 1770Sqm)



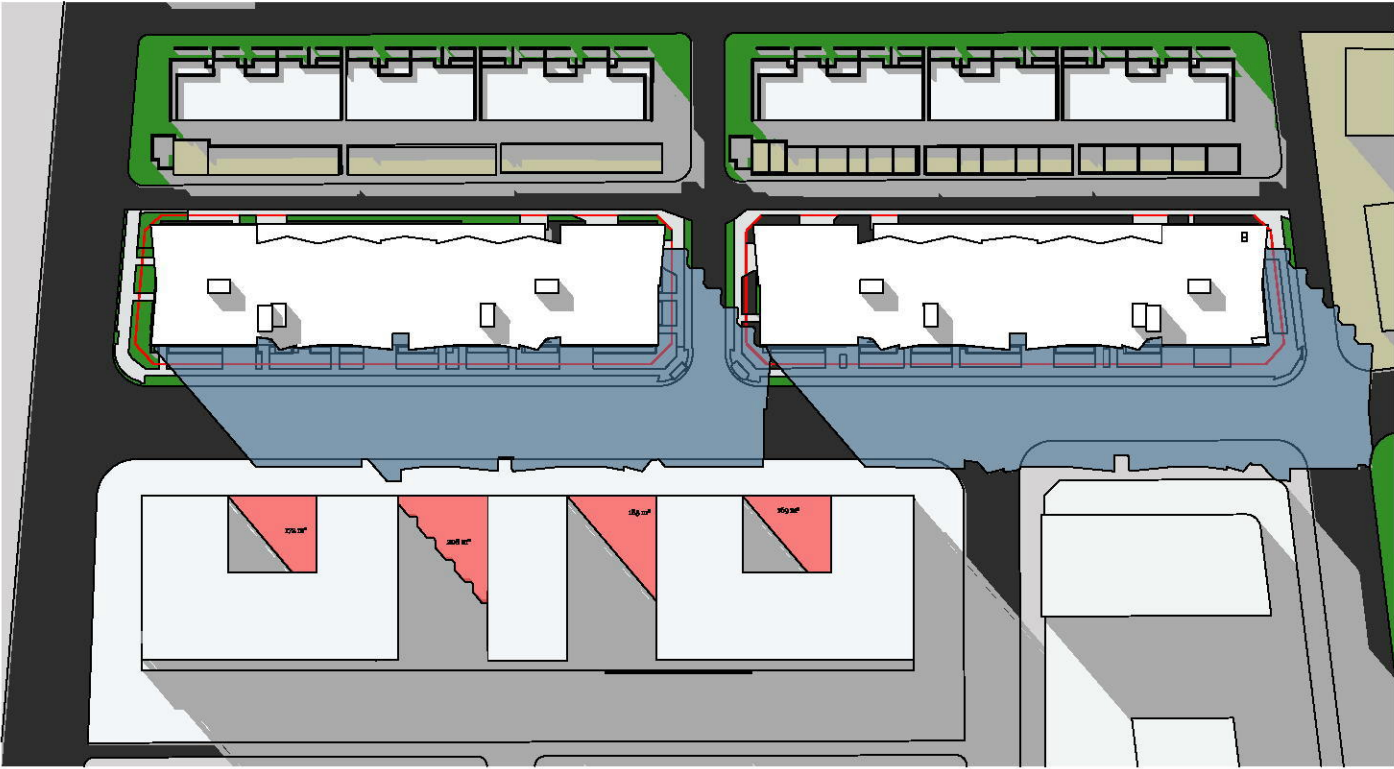
Shadow Analysis\_ 10am 1:1500  
1599sqm(=90.3% \* 1770Sqm)



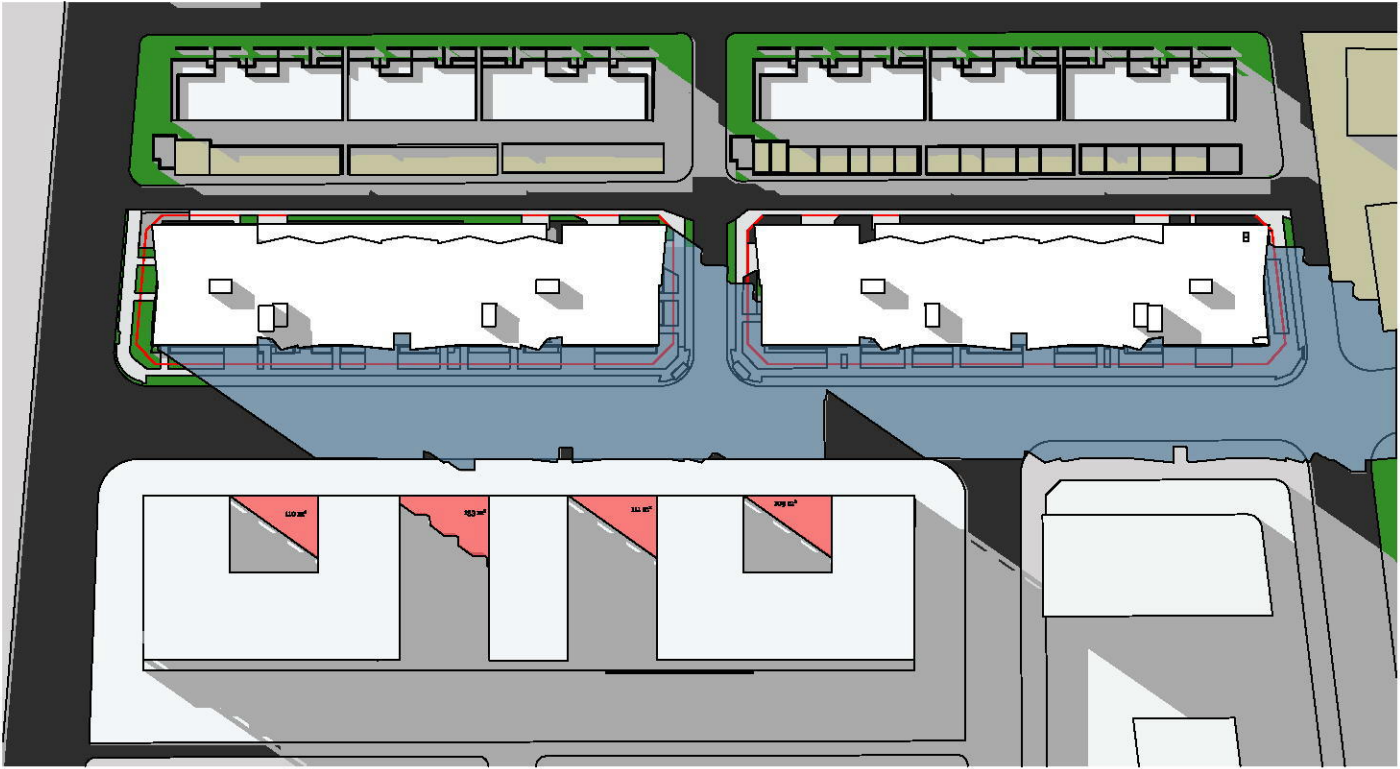
Shadow Analysis\_ 11am 1:1500  
1581sqm(=89.3% \* 1770Sqm)



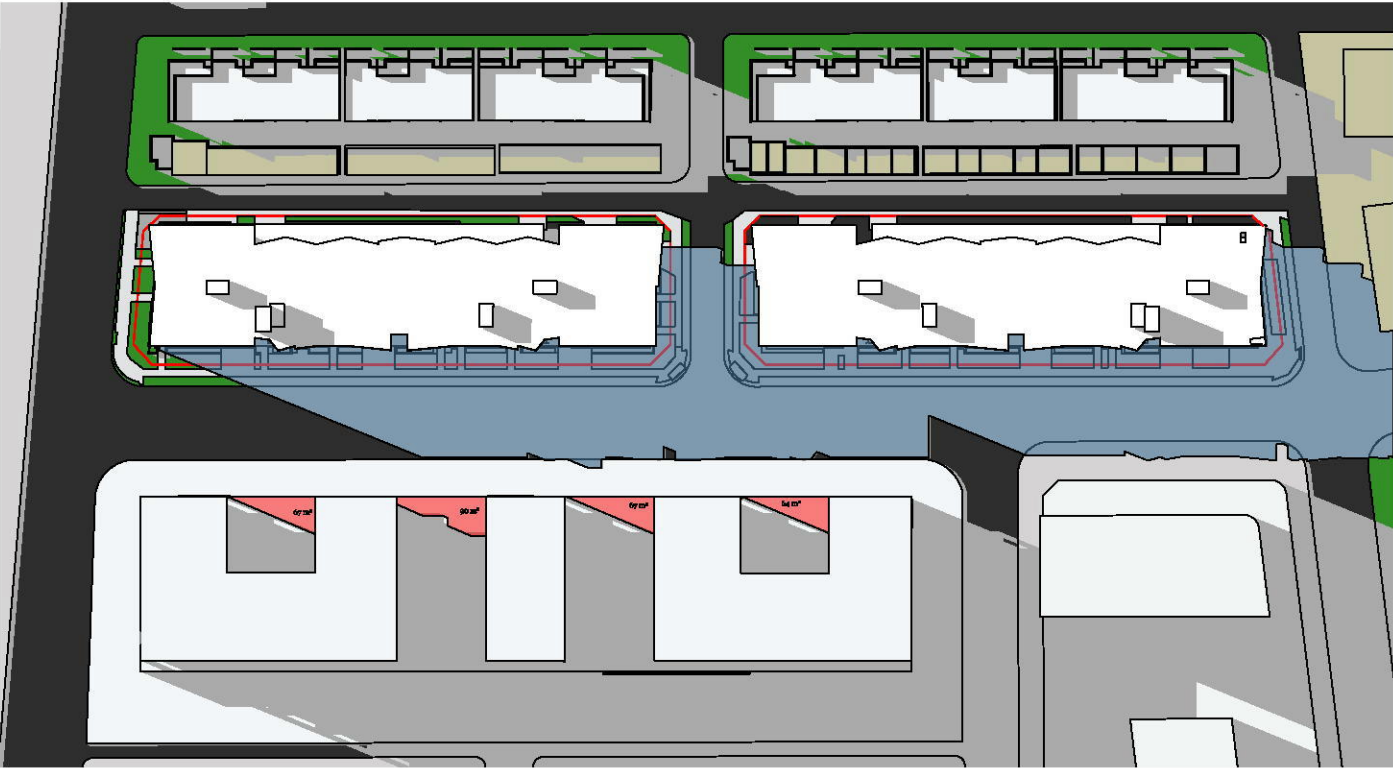
Shadow Analysis\_ 12pm 1:1500  
1161sqm(=65.5% \* 1770Sqm)



Shadow Analysis\_ 1pm 1:1500



Shadow Analysis\_ 14pm 1:1500



Shadow Analysis\_ 15pm 1:1500

- Approved DA Shadow casting \_ 21st Jun
- Communal open space with 2hrs solar \_ 39 Lord Sheffield \_ 21st Jun

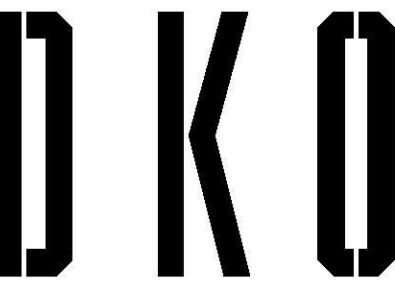
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Rev.	Date	By	Ckd	Description
A	20/03/2019	MF	SO	Issue for Submission

Client Details  
Urban Property Group  
Patrick Elias



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- Stormwater - SGC**  
Sam Haddad  
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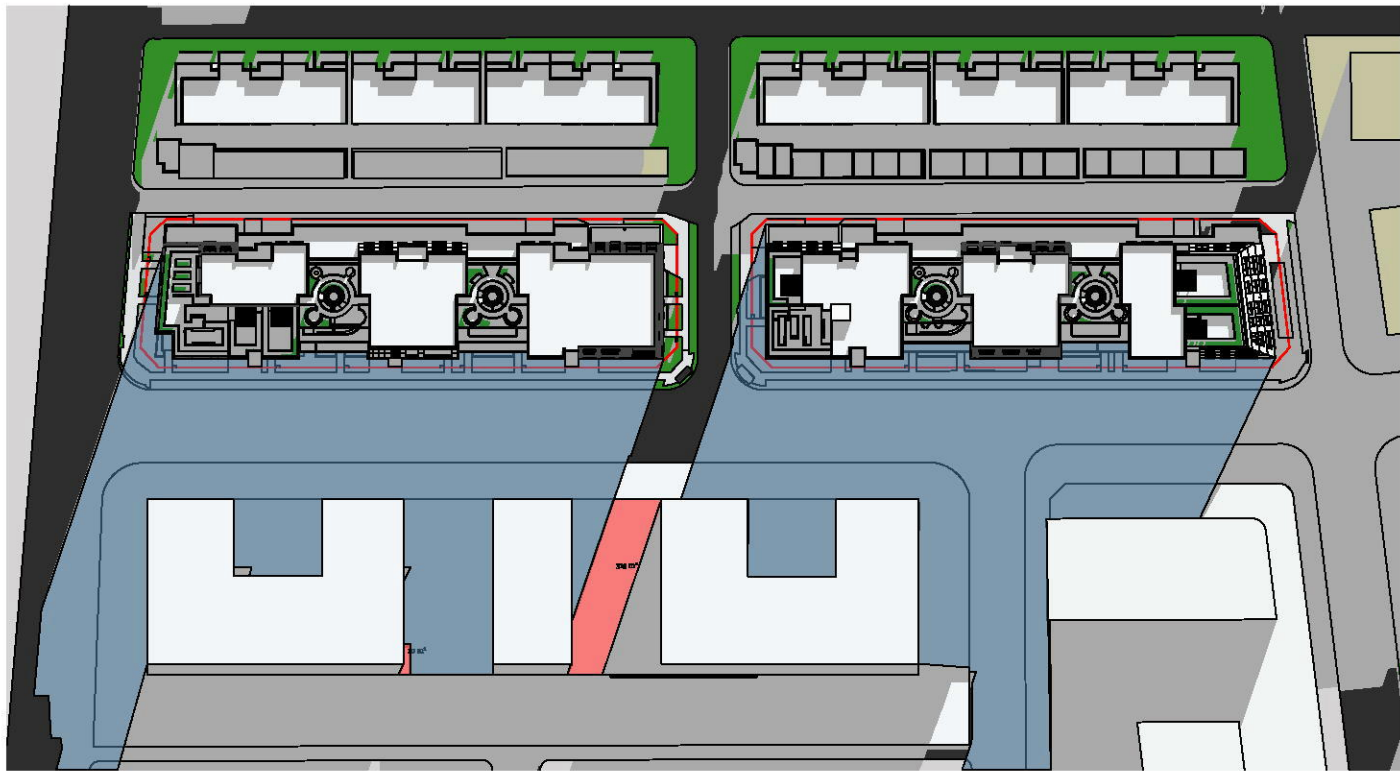
Project Name  
Project Number  
Project Address

Drawn By  
Checked By  
Date  
Scale

March 2019  
1:1500, 1:2500 @ A1

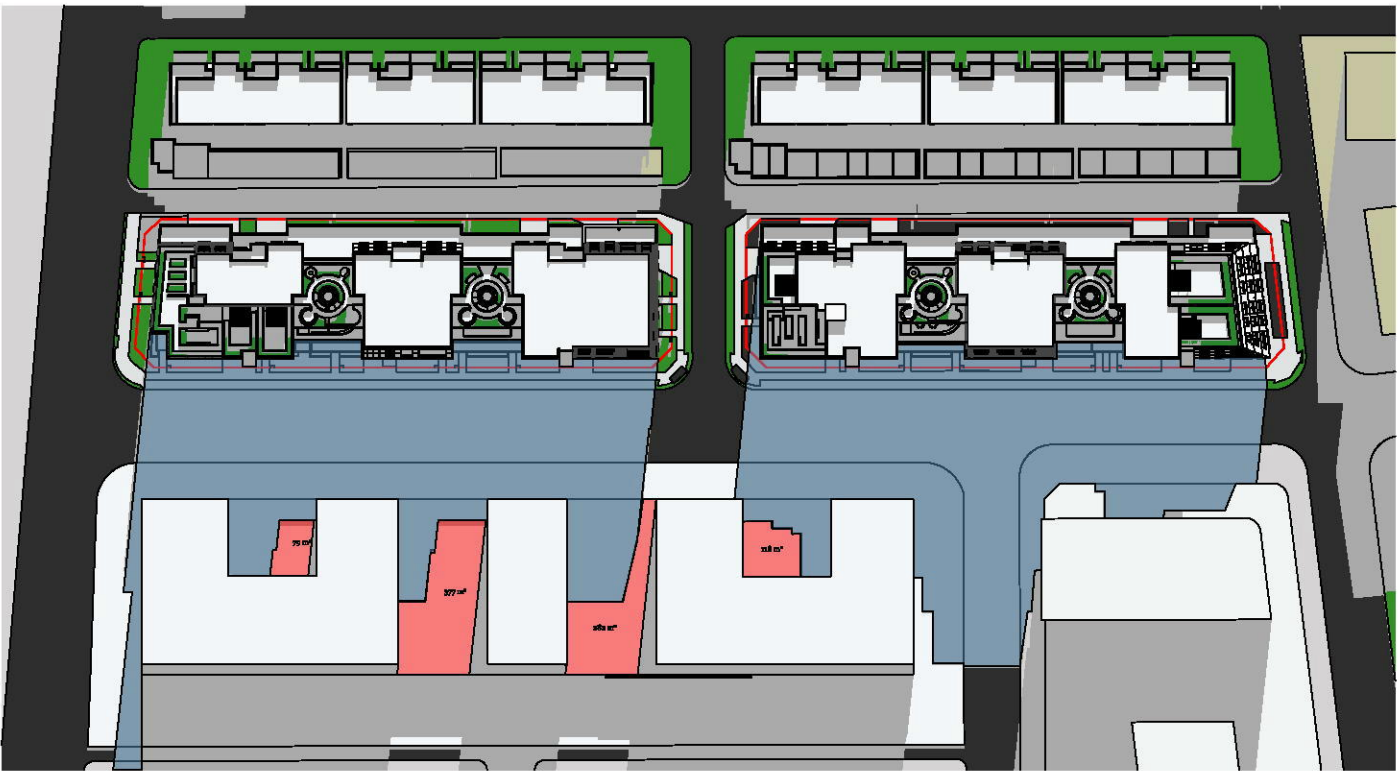
Shadow & Solar Analysis  
Shadow Diagram \_ Approved DA

Drawing Number **DA503**  
Revision **A**



Shadow Analysis\_9am 1:1500

325sqm(=18.3% \* 1770Sqm)



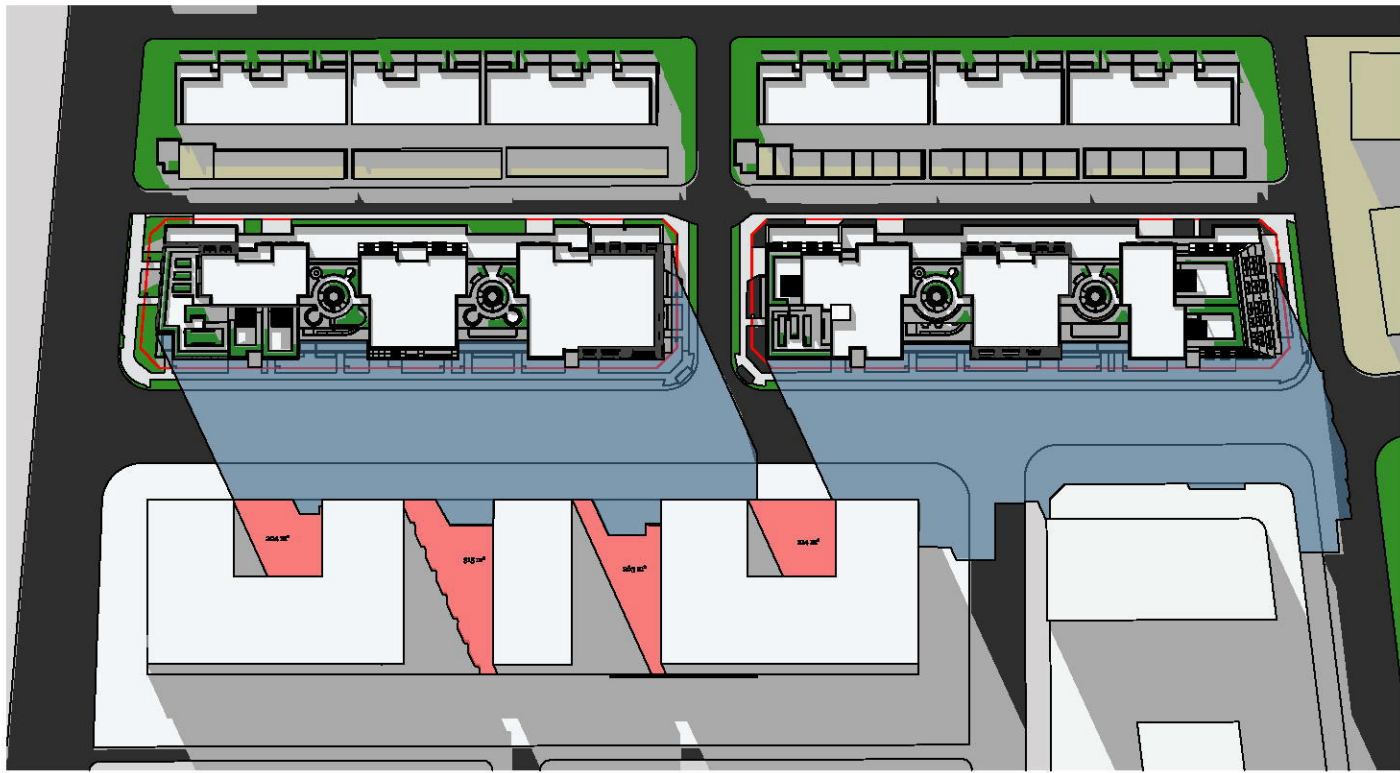
Shadow Analysis\_10am 1:1500

856sqm(=50% \* 1770Sqm)



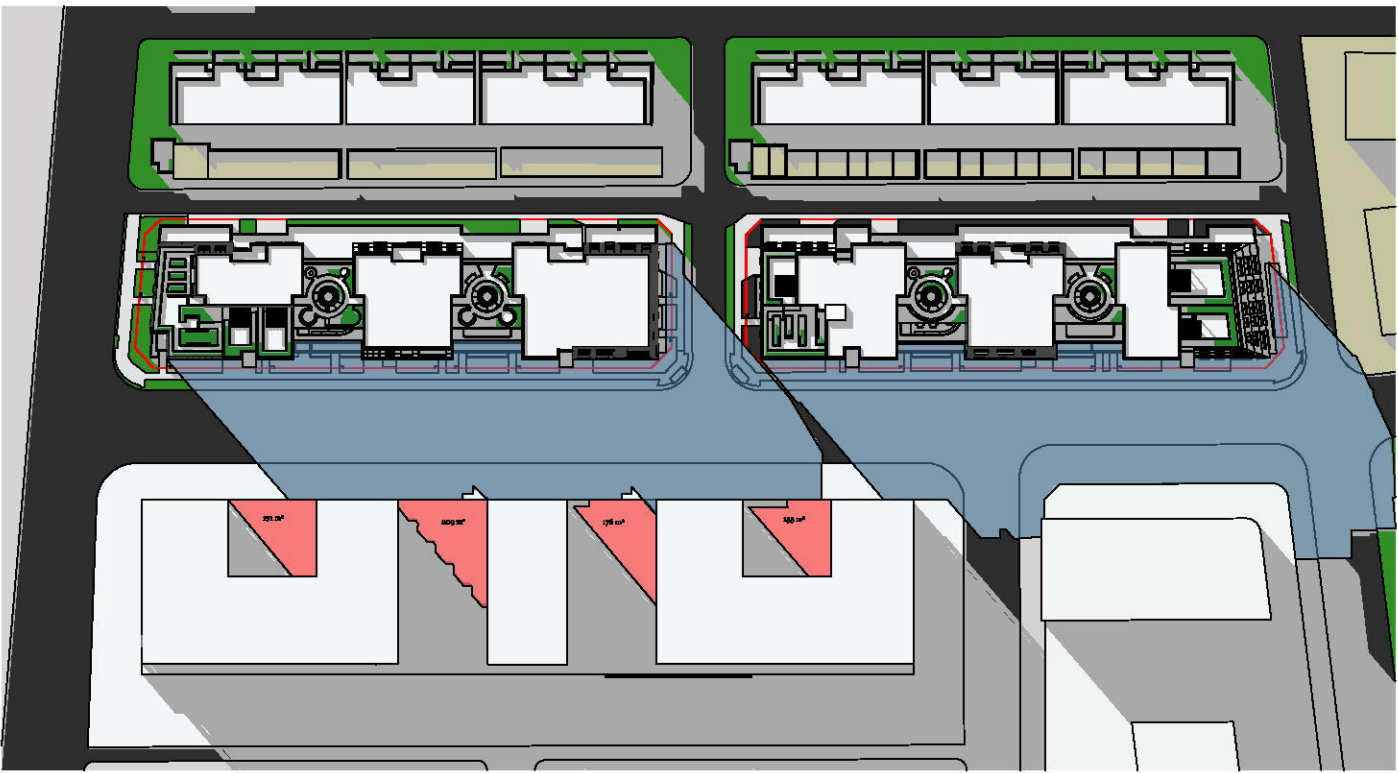
Shadow Analysis\_11am 1:1500

1091sqm(=61.6% \* 1770Sqm)

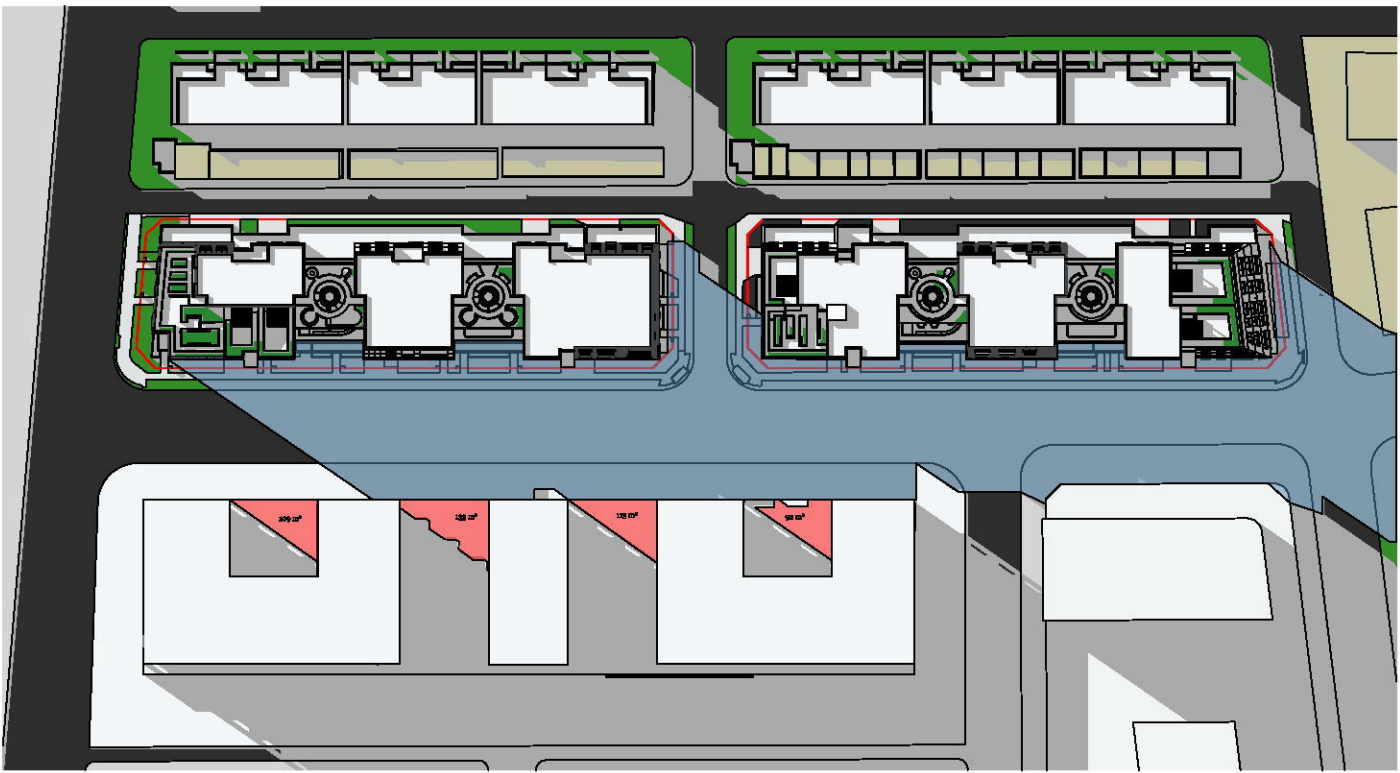


Shadow Analysis\_12pm 1:1500

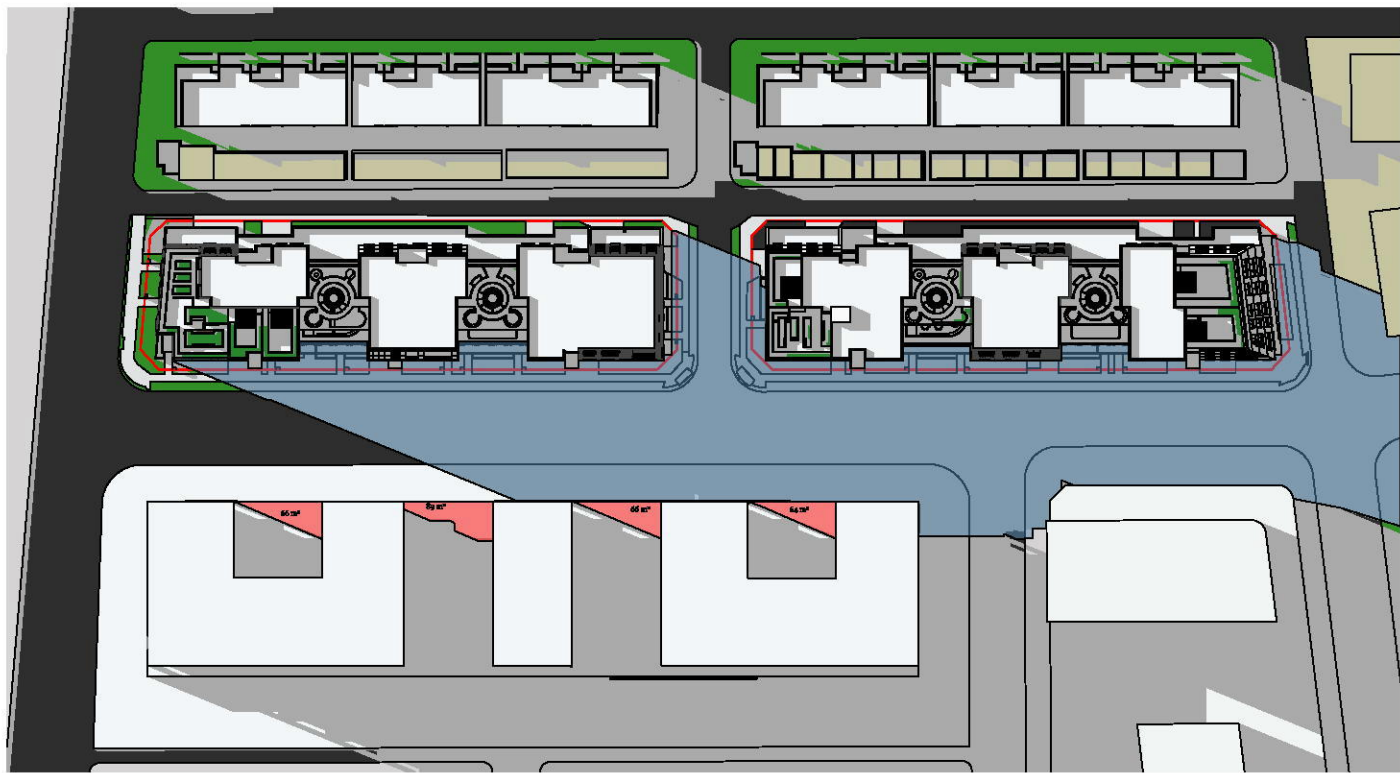
996sqm(=56.2% \* 1770Sqm)



Shadow Analysis\_1pm 1:1500



Shadow Analysis\_14pm 1:1500



Shadow Analysis\_15pm 1:1500

Amended Proposal Shadow casting \_ 21st Jun

Communal open space with 2hrs solar \_ 39 Lord Sheffield \_ 21st Jun

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A	20/03/2019	MF	SO	Issue for Submission

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Patrick Elias

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Project Name  
Project Number  
Project Address

Drawn By  
Checked By  
Date  
Scale

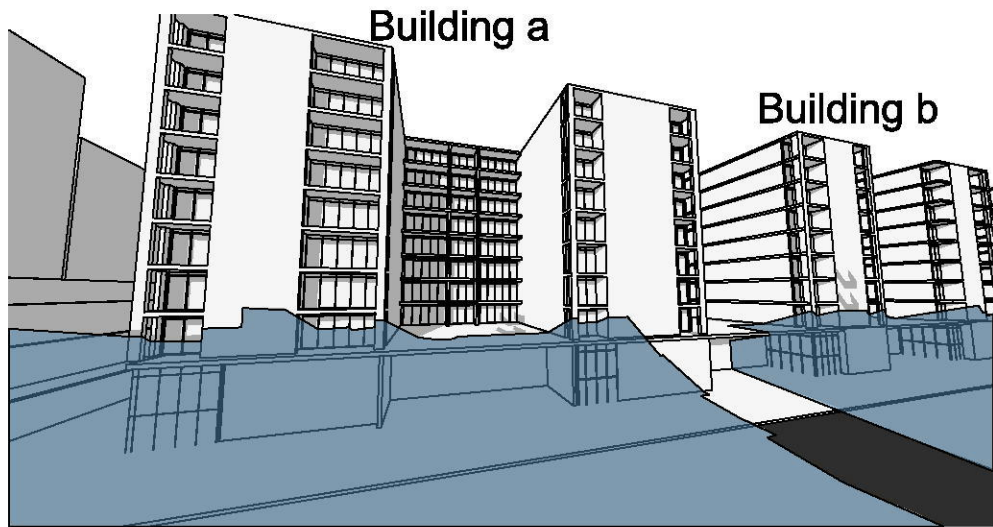
March 2019  
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Drawing Series  
Drawing Name

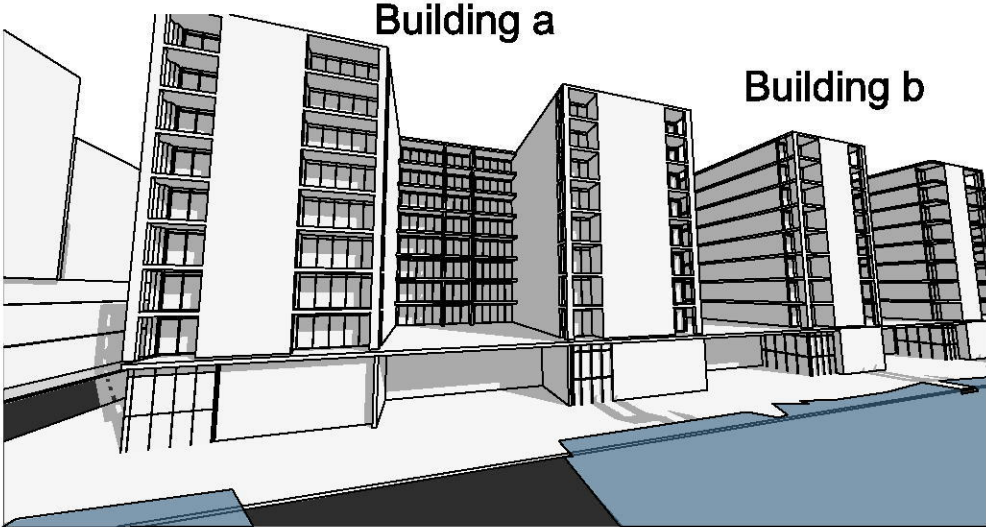
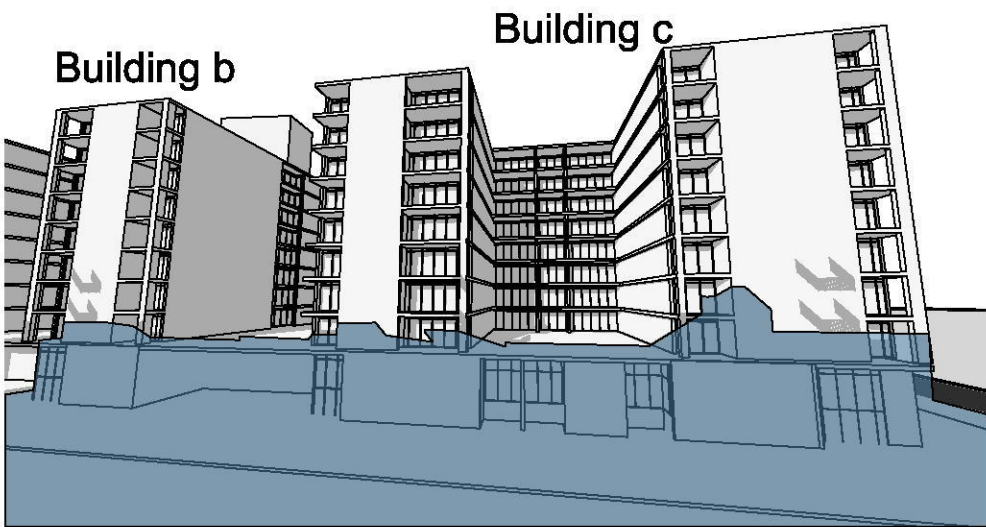
Shadow & Solar Analysis  
Shadow Diagram \_ Proposal

Drawing Number **DA504**  
Revision **A**

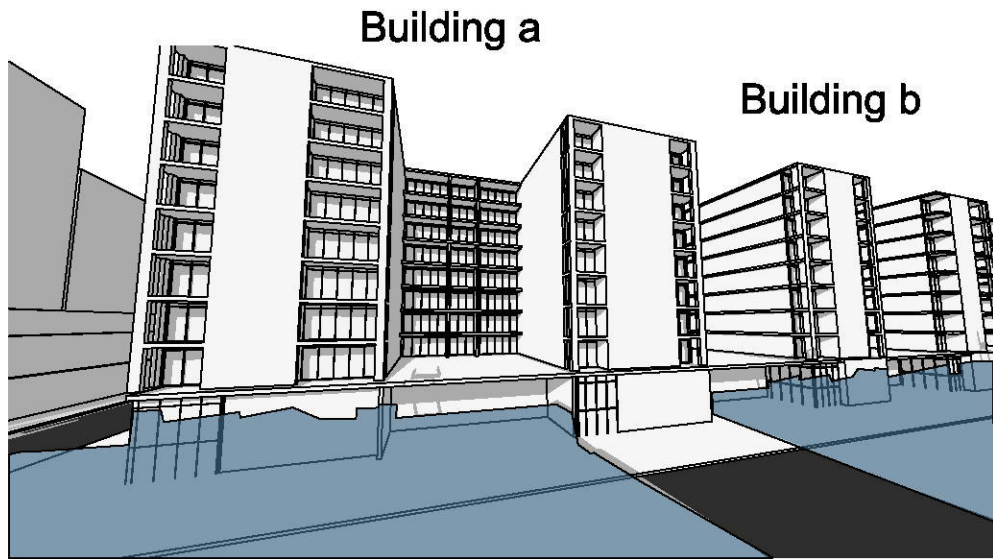
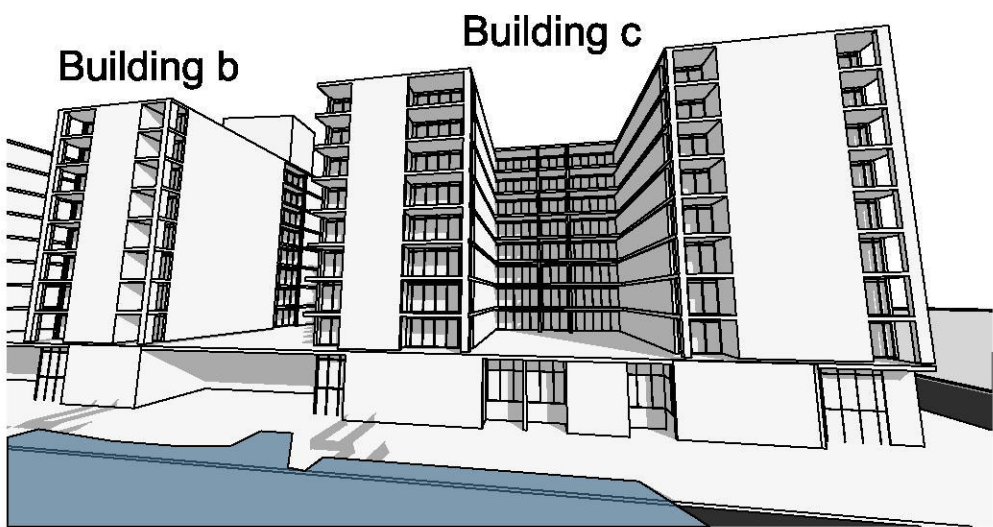
Approved DA



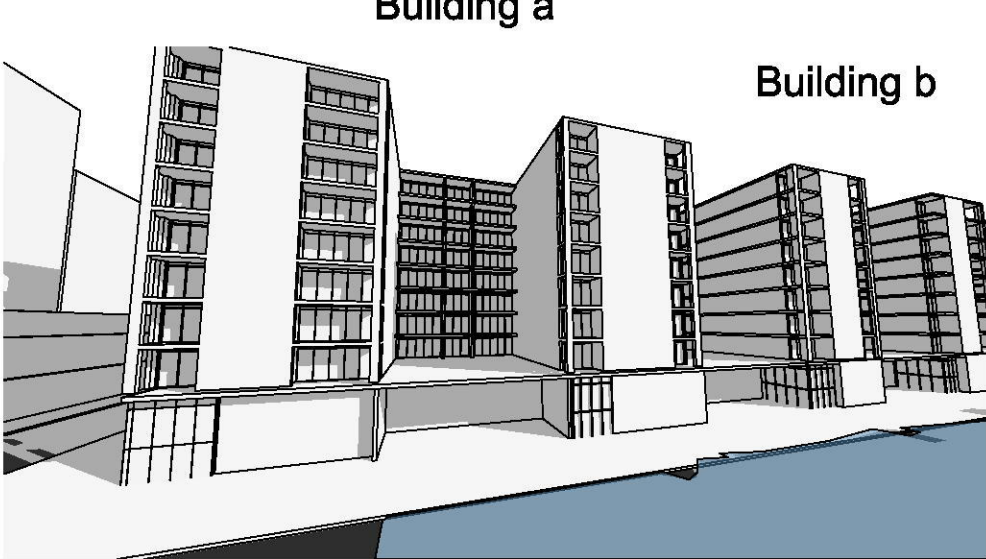
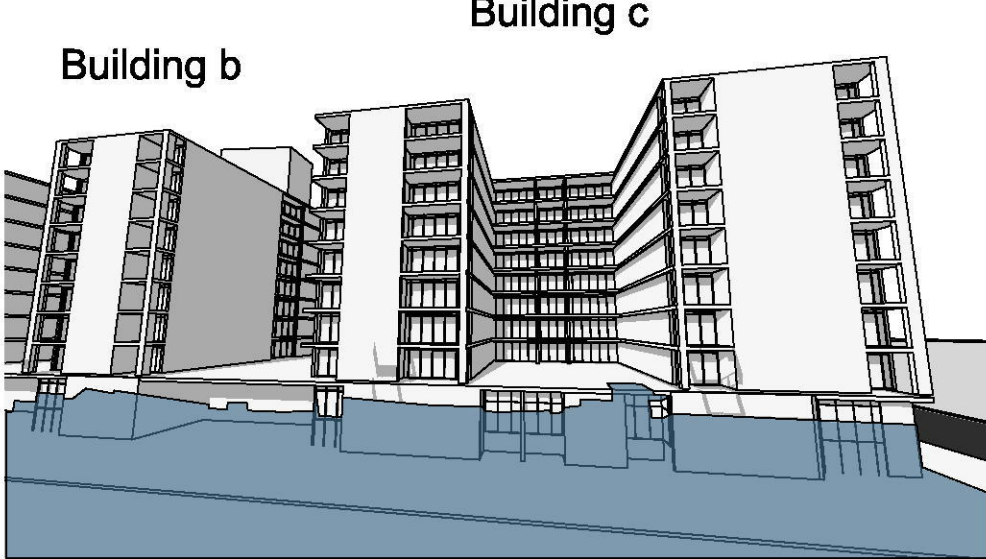
Jun 21st \_9am



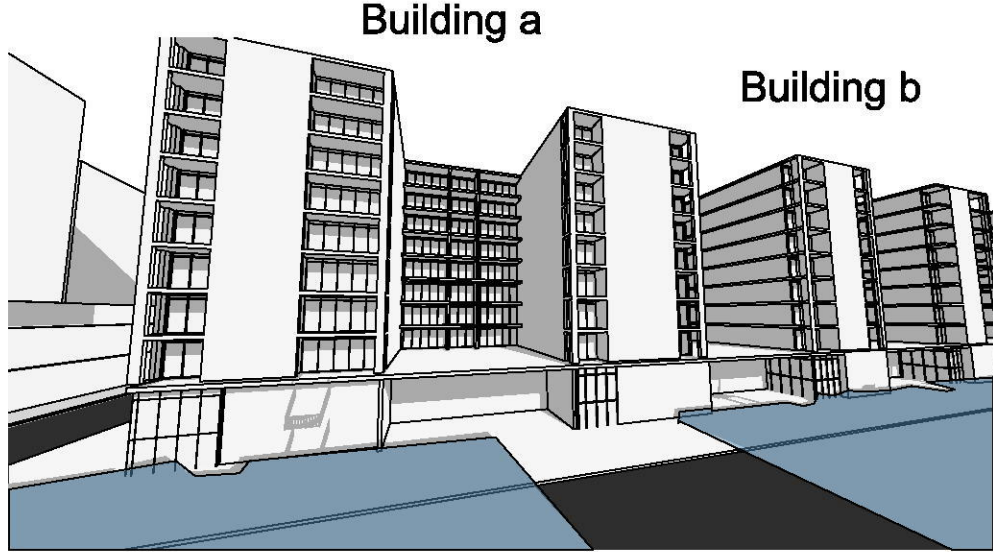
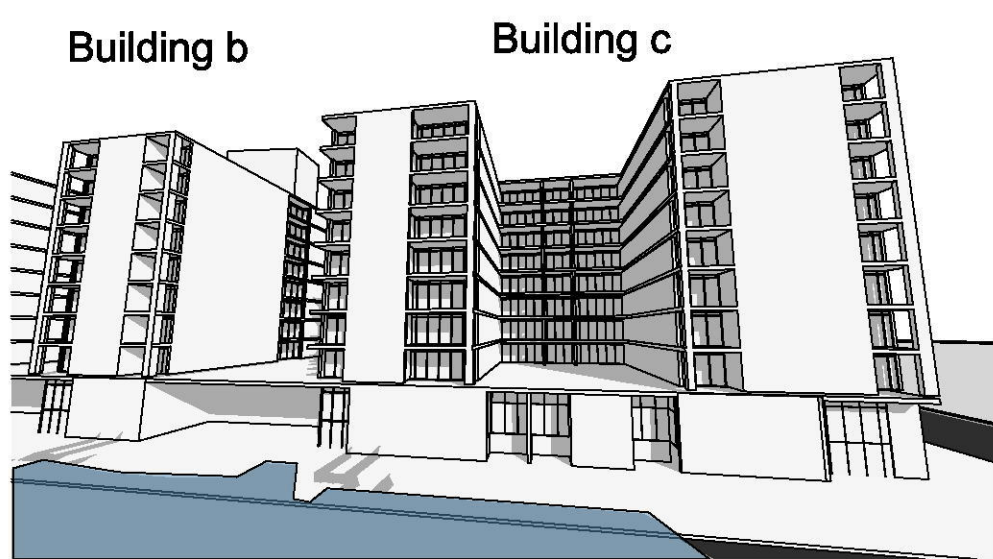
Jun 21st \_1pm



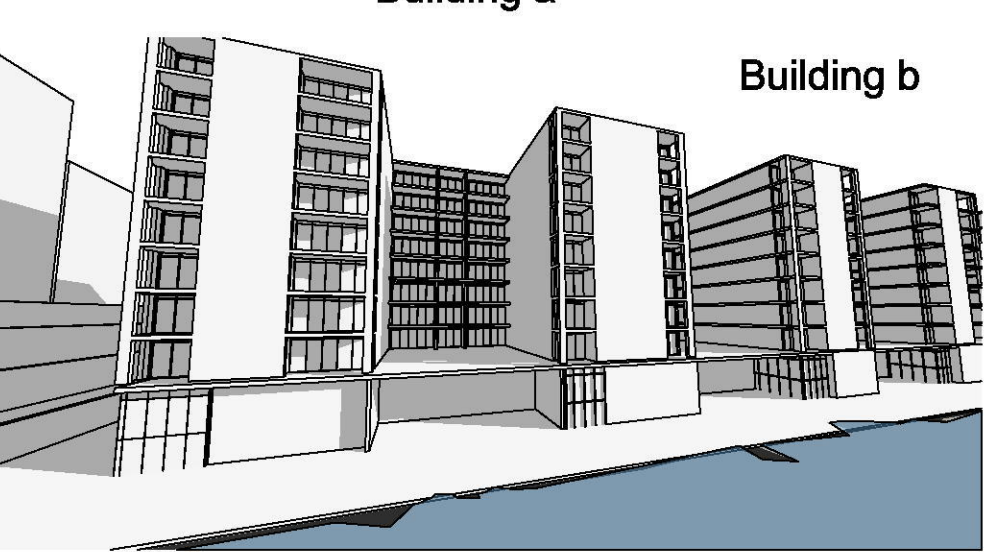
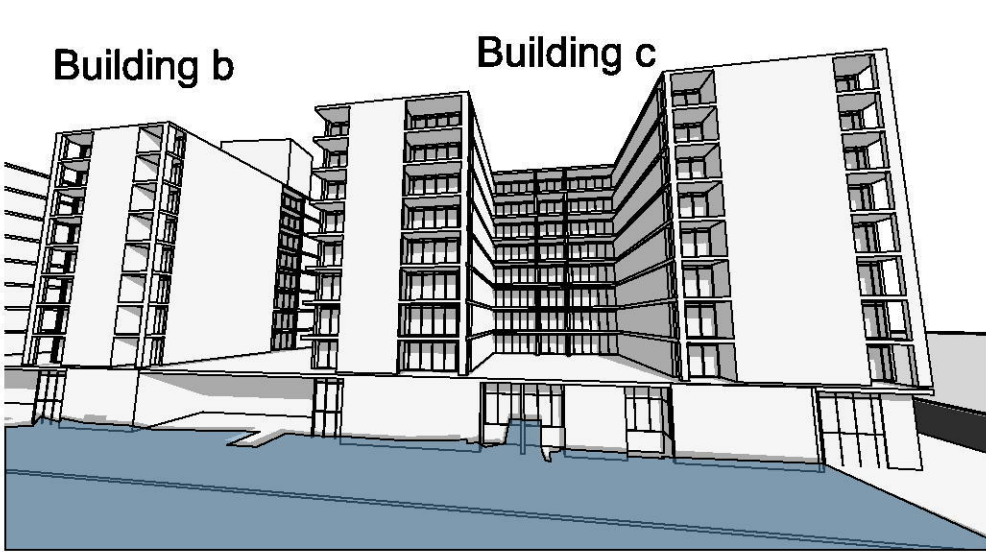
Jun 21st \_10am



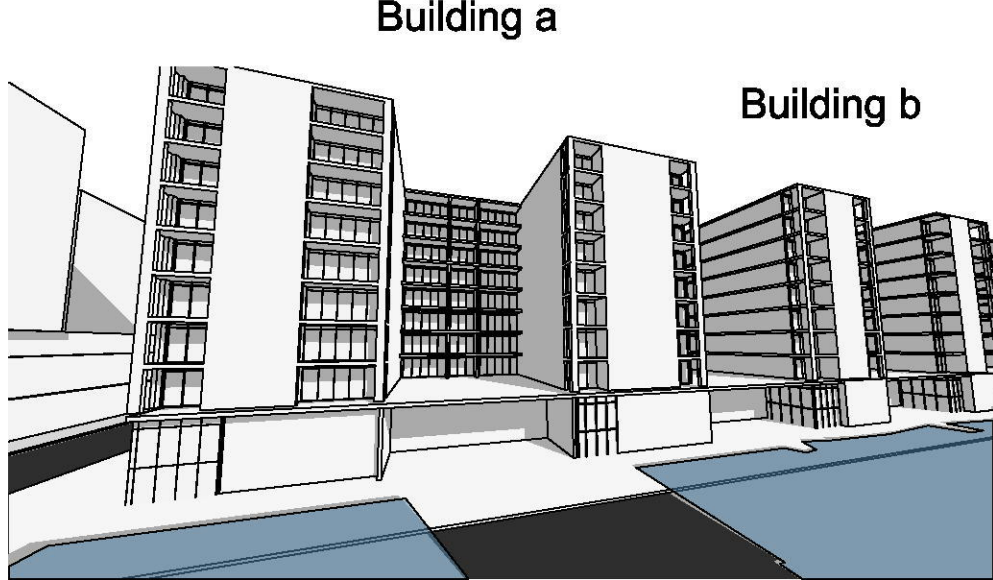
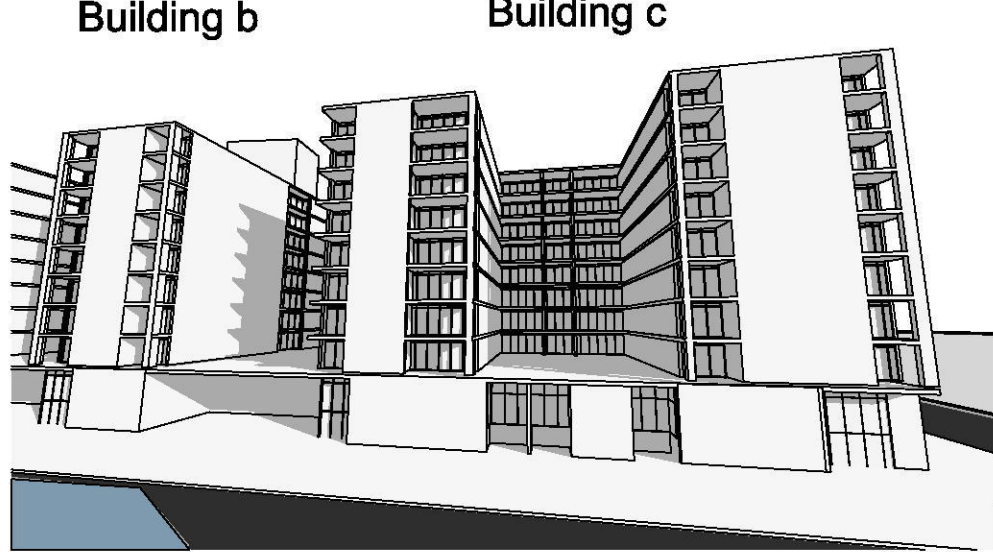
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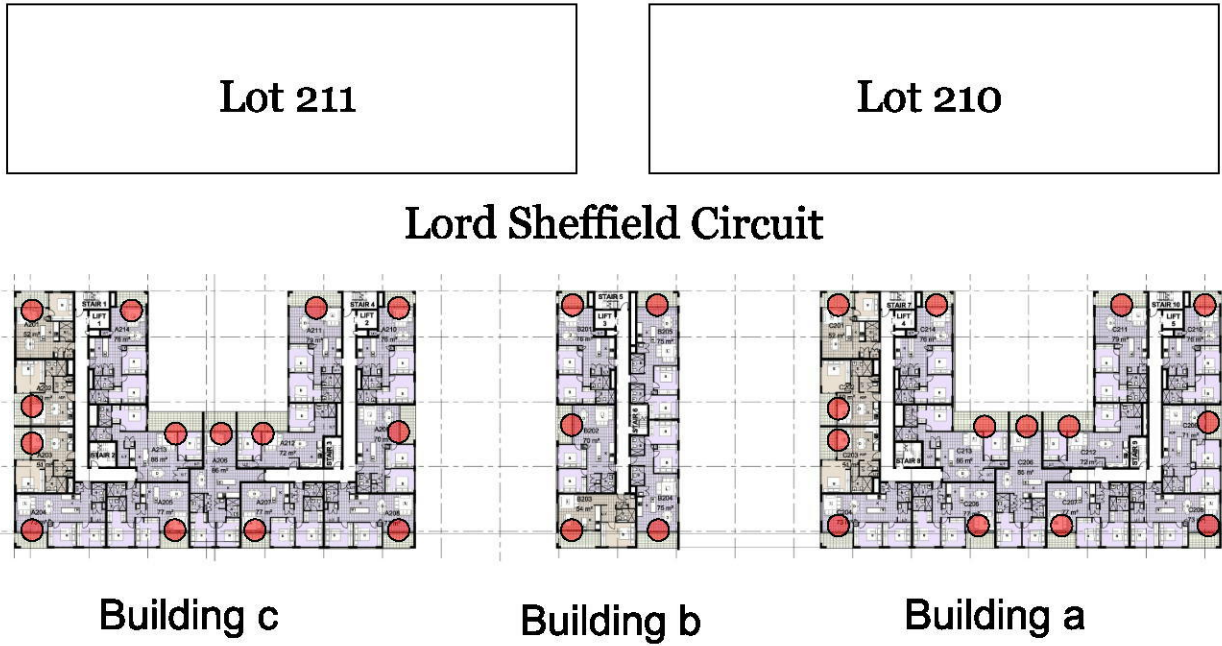
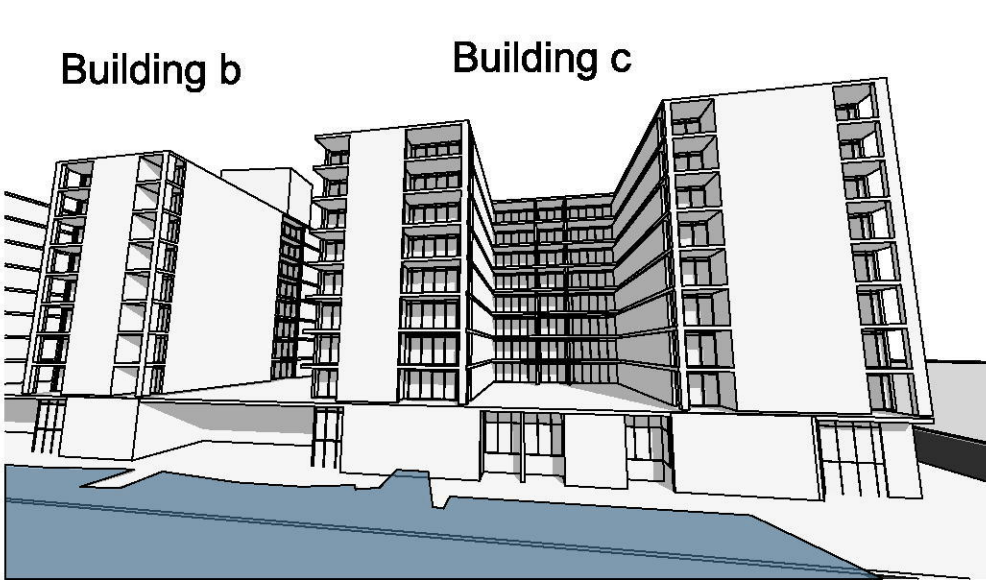
Jun 21st \_11am



Jun 21st \_3pm



Jun 21st \_12pm



Approved DA Shadow casting \_ 21st Jun

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Rev.	Date	By	Ckd	Description
A	29/03/2019	MA	SO	Issue for Submission

Client Details  
Urban Property Group  
Patrick Elias



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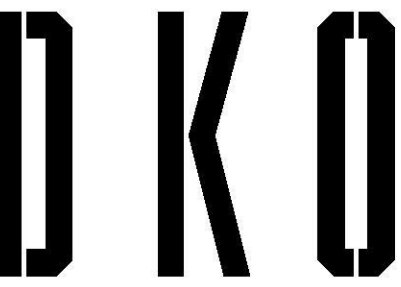
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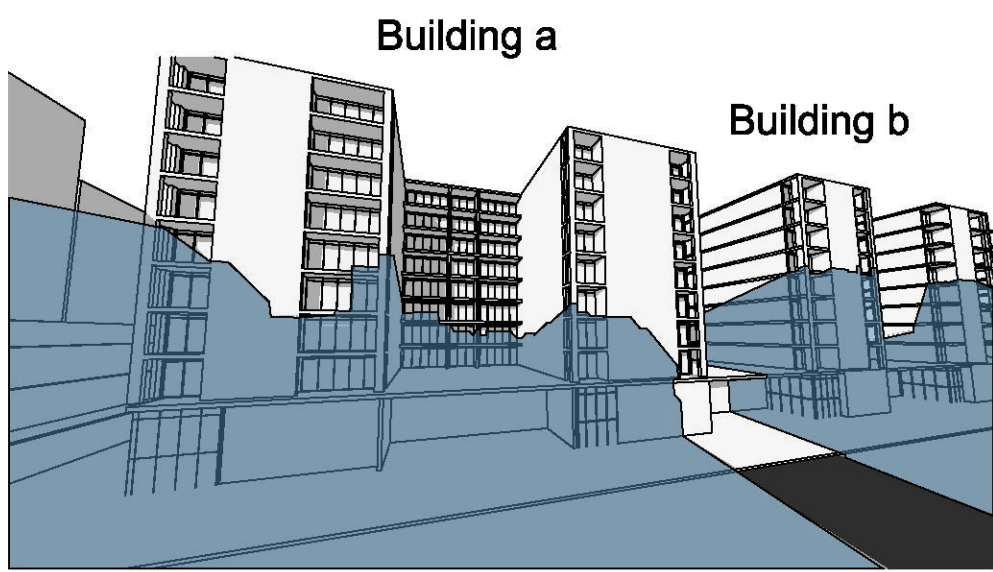
Project Name  
Project Number  
Project Address  
  
Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale  
  
March 2019  
1:134995:64, 1:4.84 @ A1

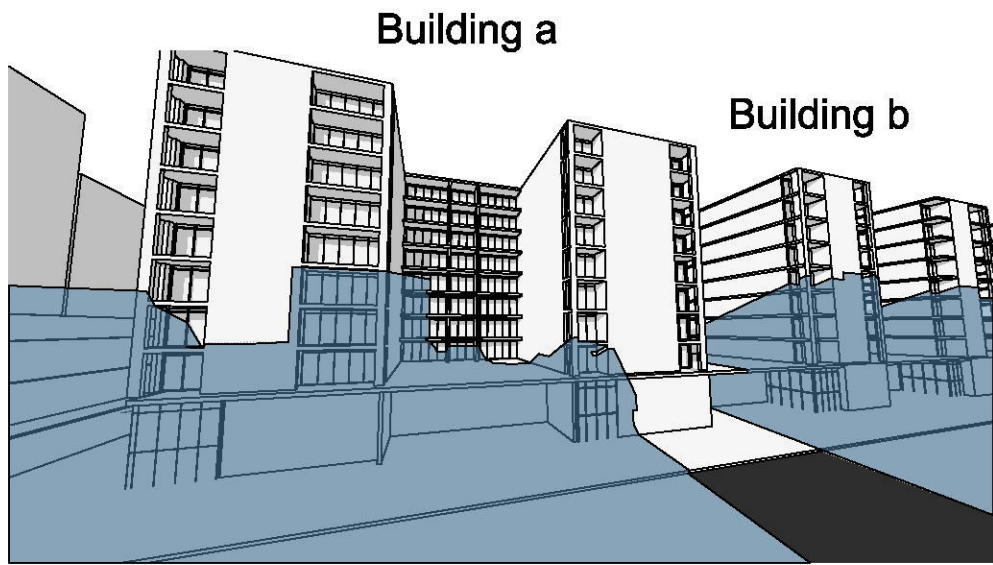
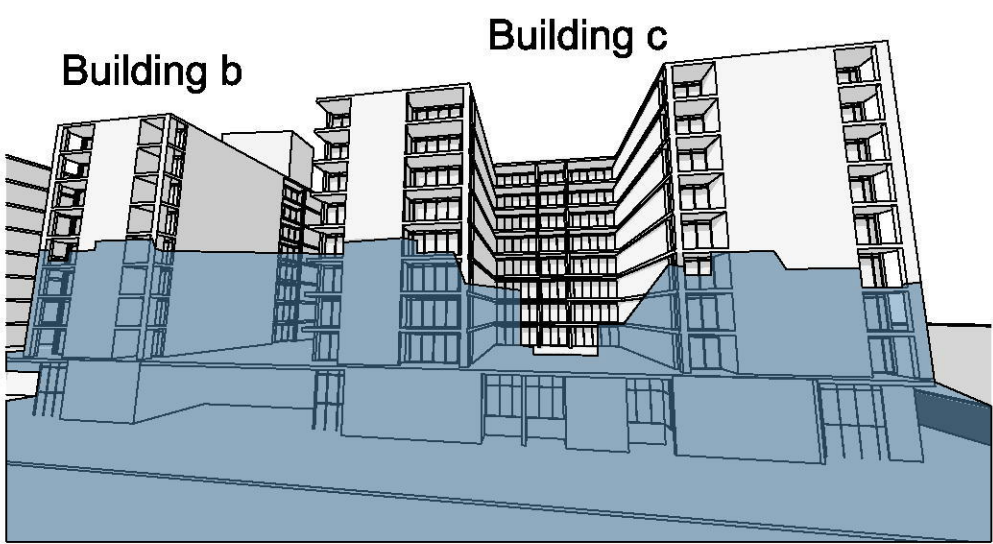
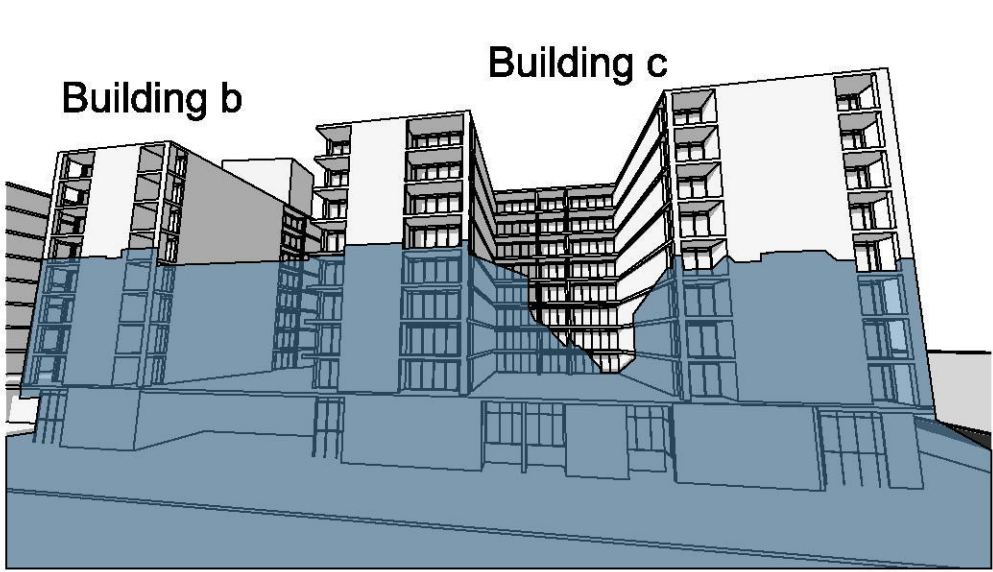
Drawing Series  
Drawing Name  
  
Shadow & Solar Analysis  
Shadow Diagram in 3D \_  
Approved DA

Drawing Number  
Revision  
  
DA505  
A

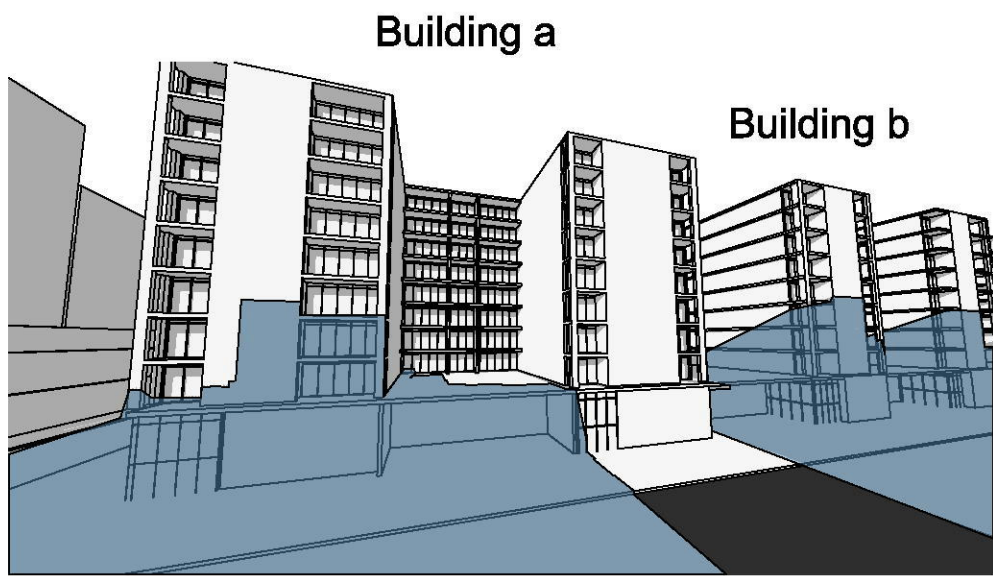
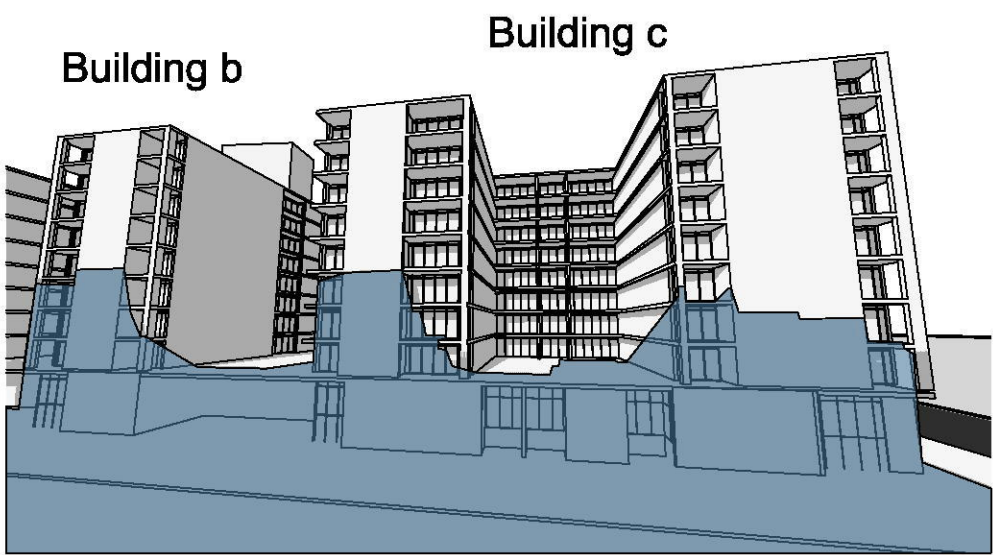
Proposal



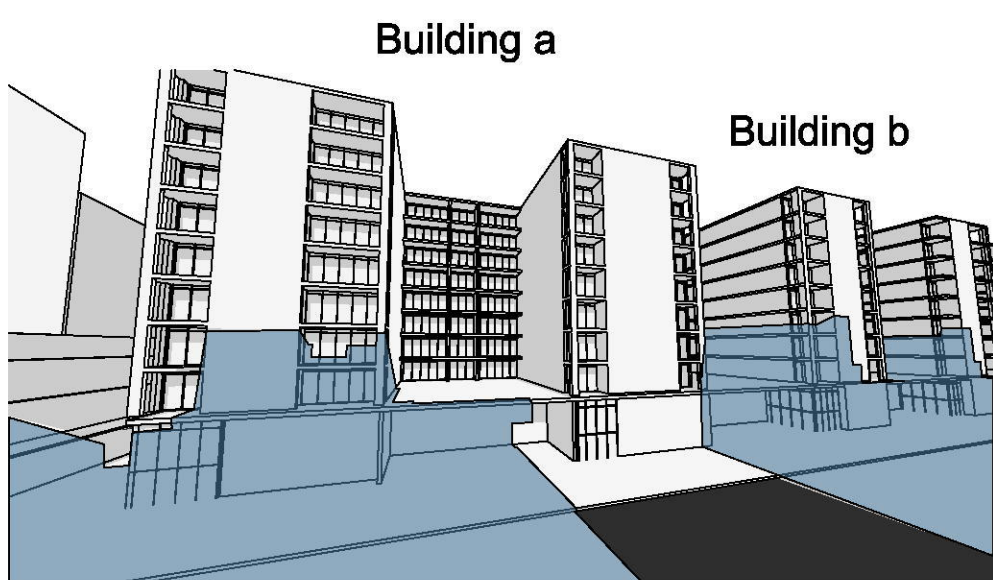
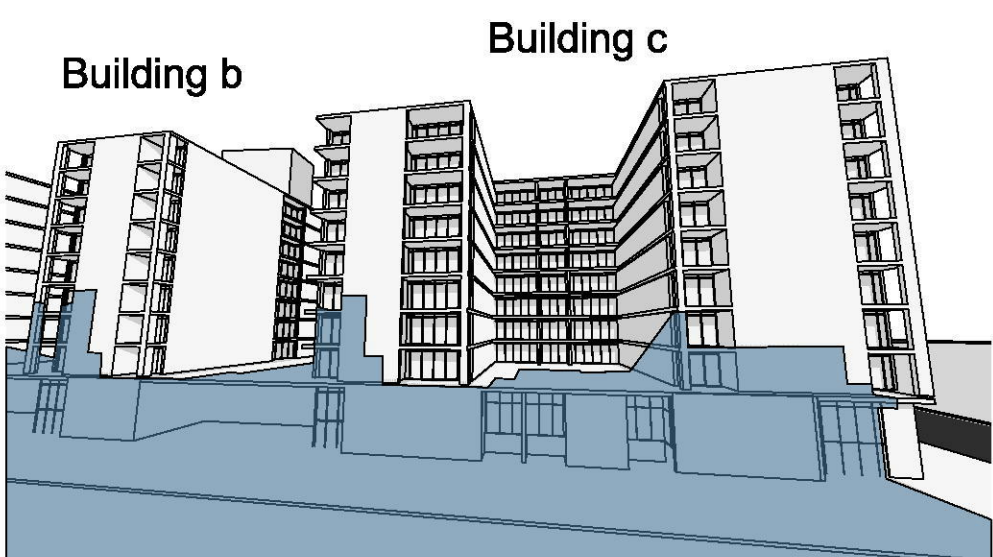
Jun 21st \_9am



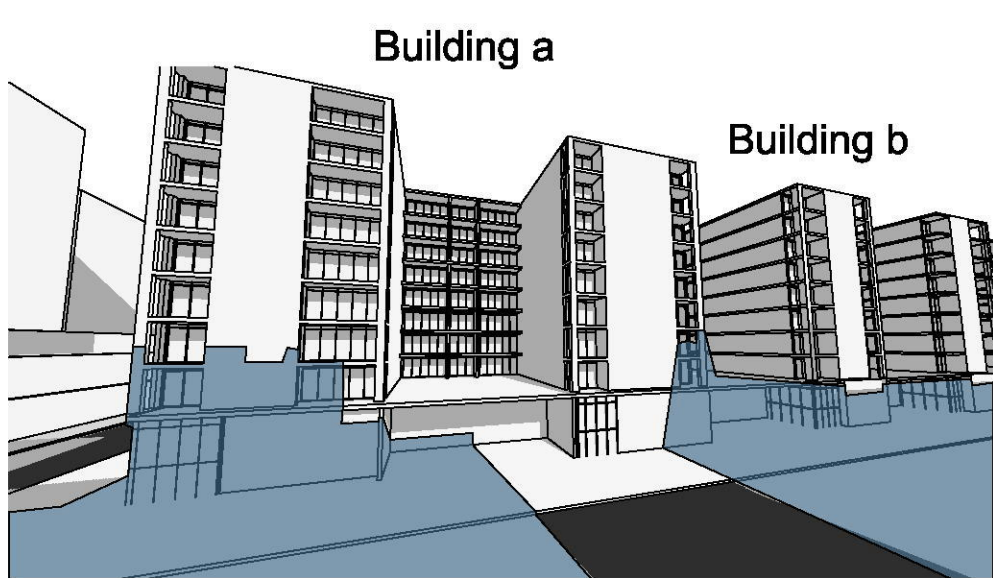
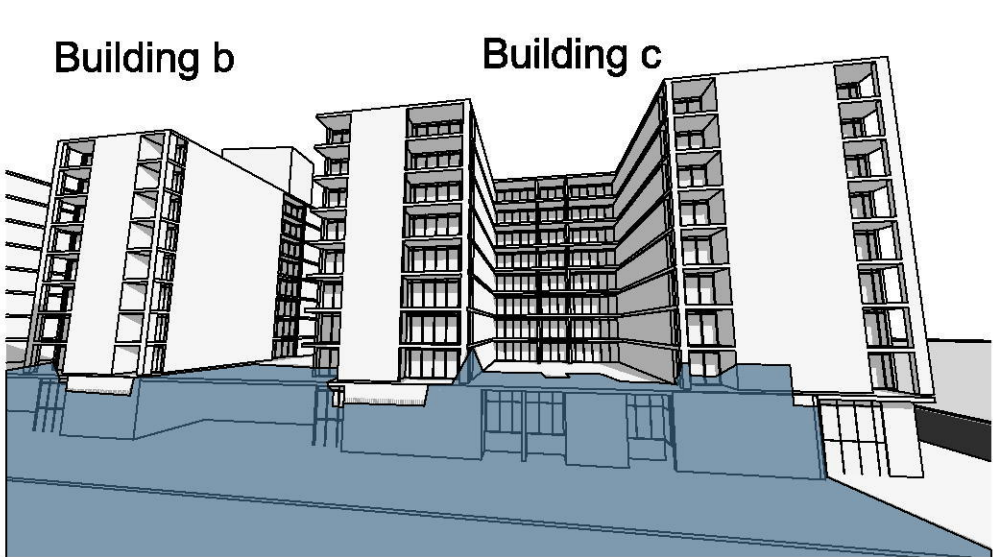
Jun 21st \_9.30am



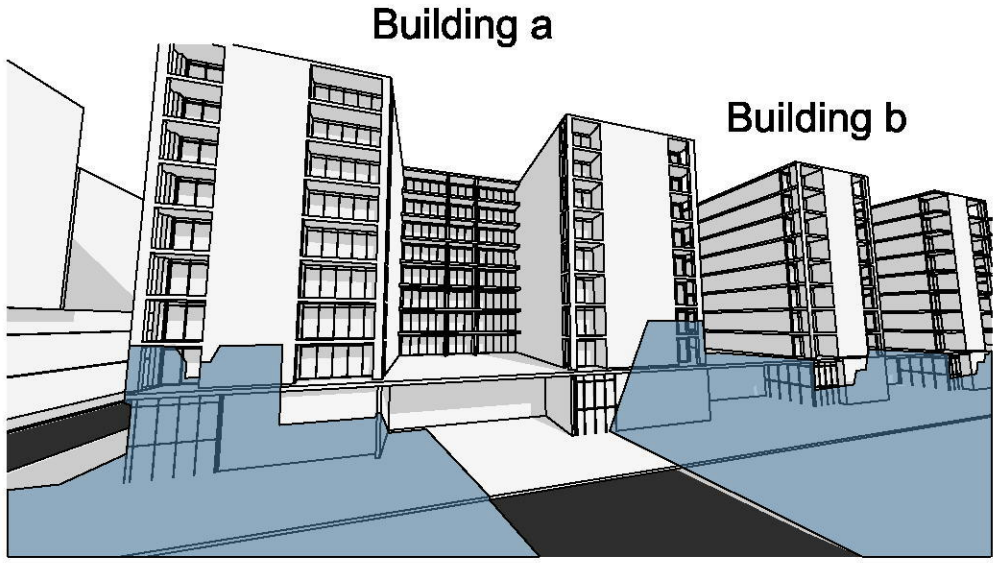
Jun 21st \_10am



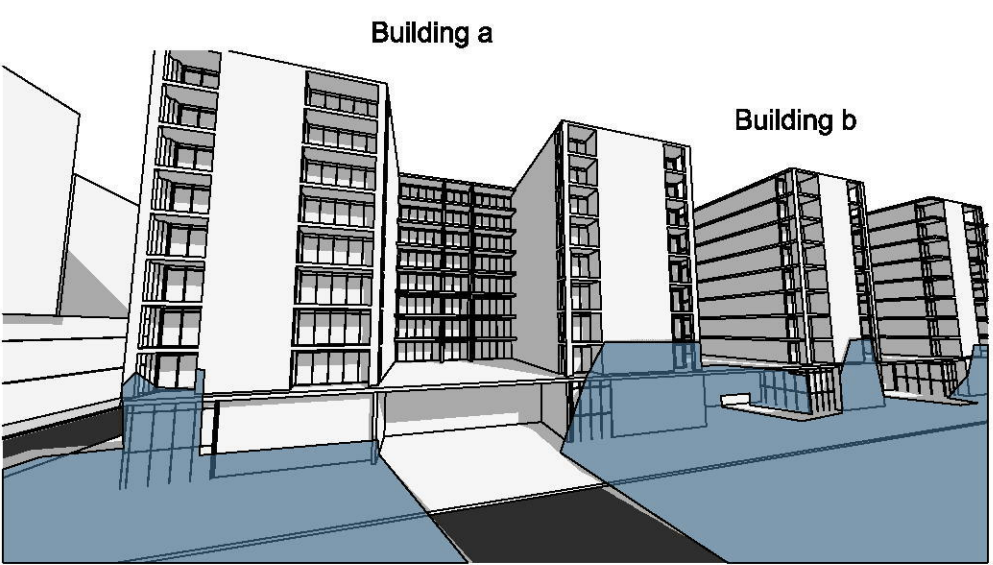
Jun 21st \_10.30am



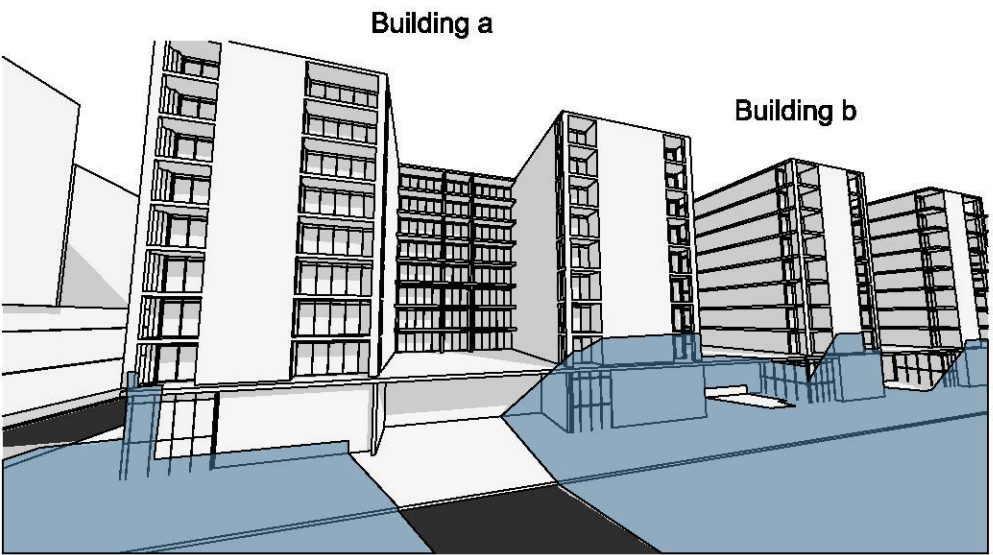
Jun 21st \_11am



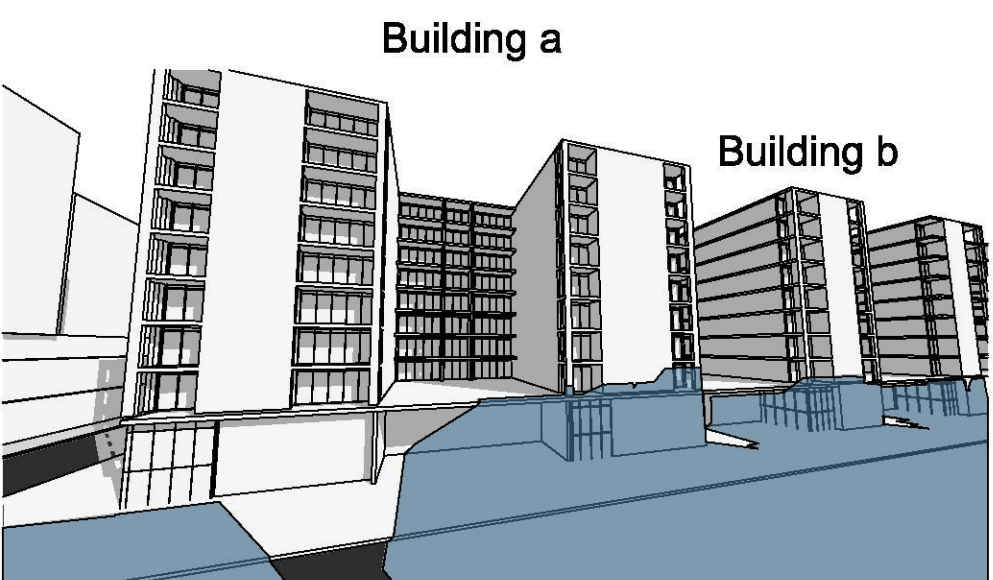
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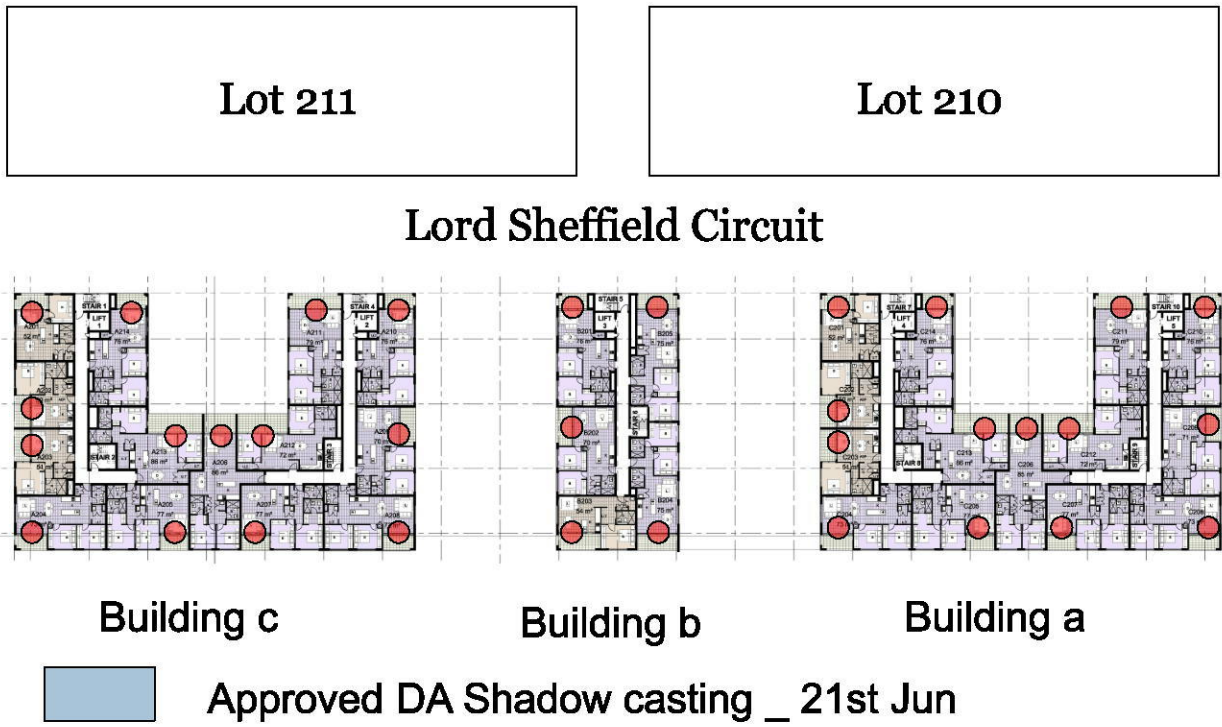
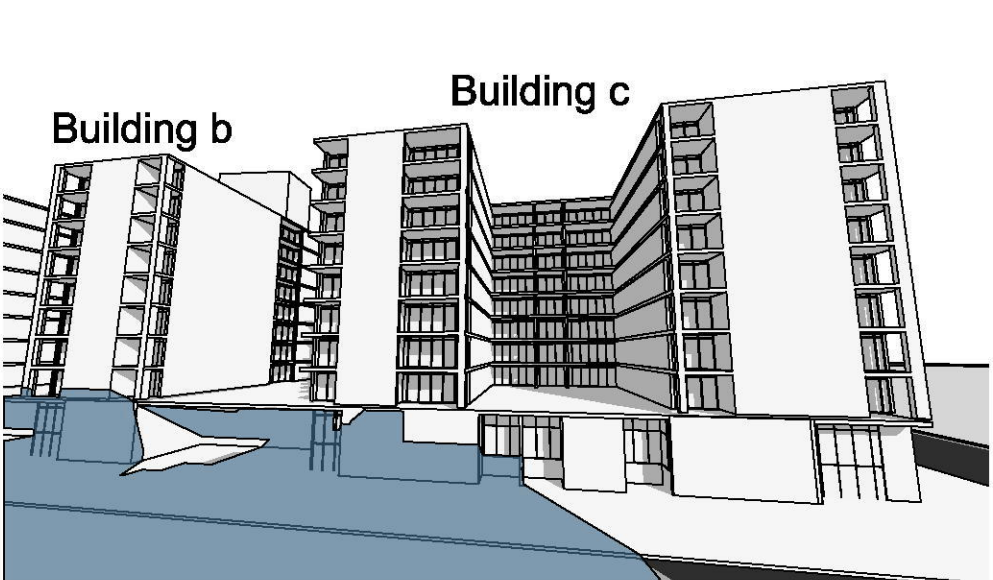
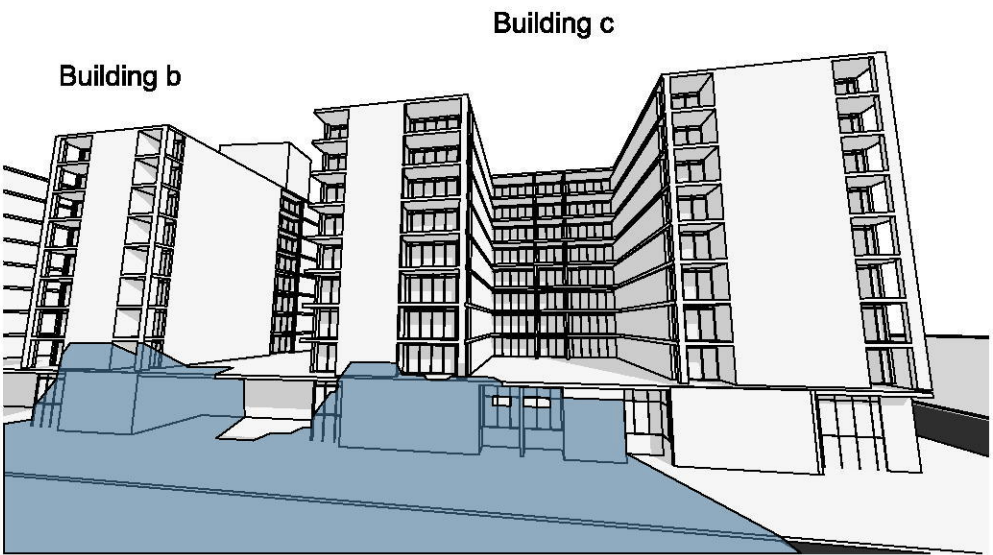
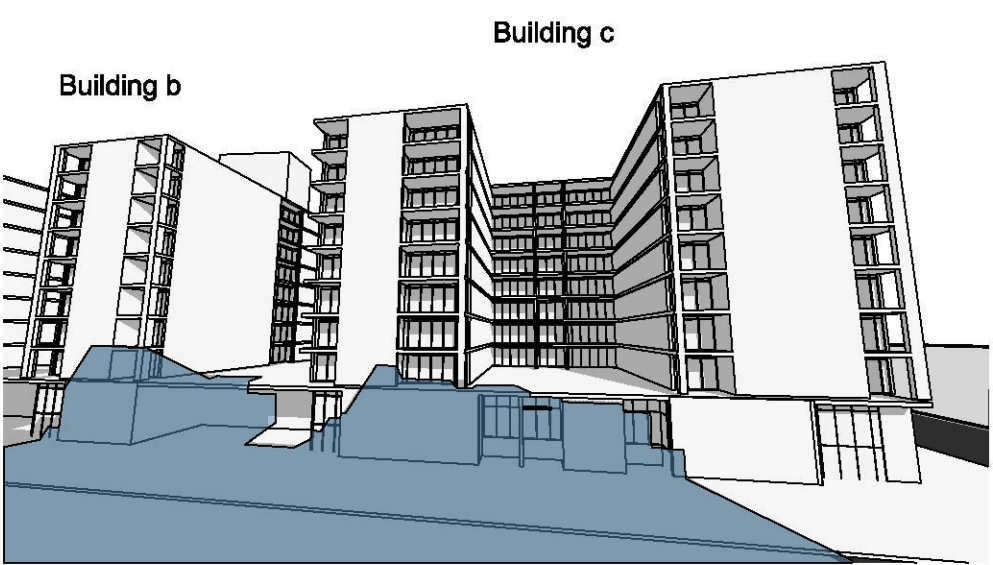
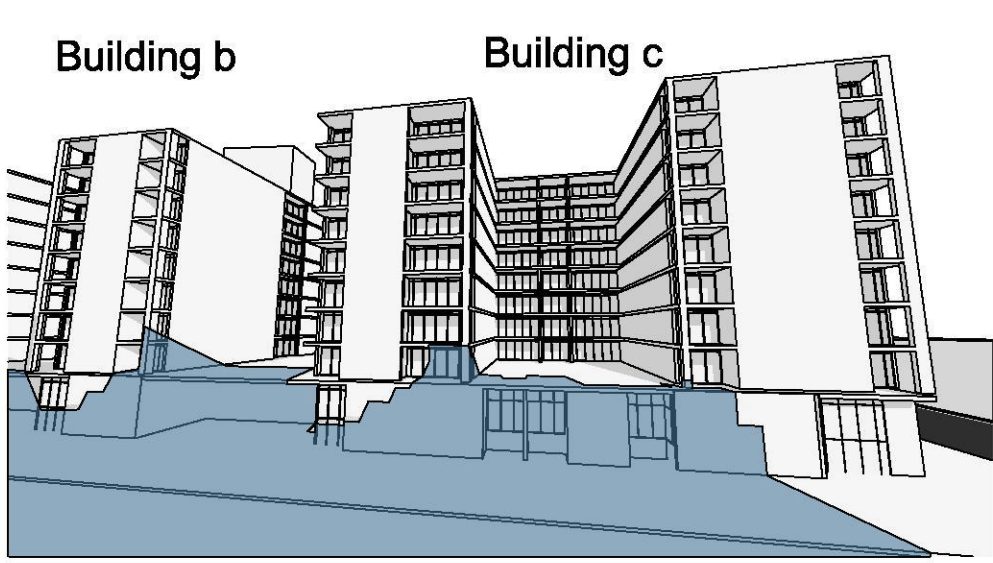
Jun 21st \_12pm



Jun 21st \_12.15pm



Jun 21st \_1pm



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drawings by the Architect/Consultant

Rev.	Date	By	Ckd	Description
A	20/03/2019	MA	SO	Issue for Submission

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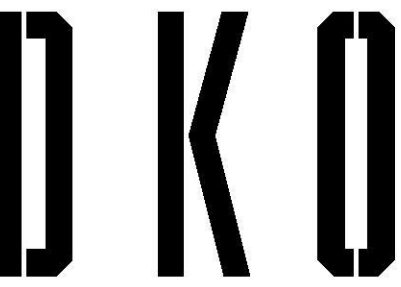
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Project Name  
Project Number  
Project Address  
Date  
Scale

Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

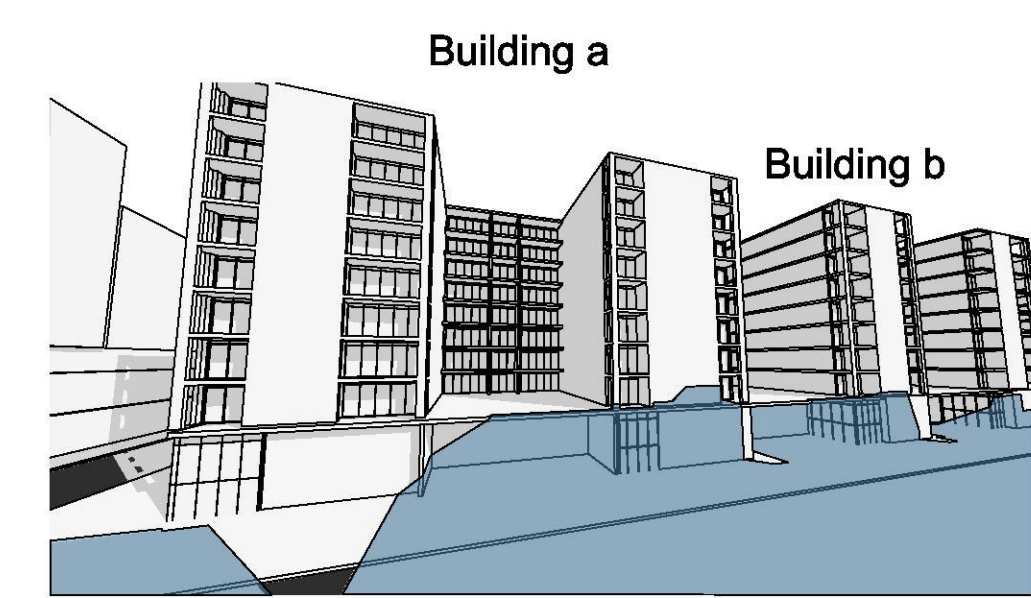
March 2019  
1:134995:64, 1:4.84 @ A1

Drawing Series  
Drawing Name

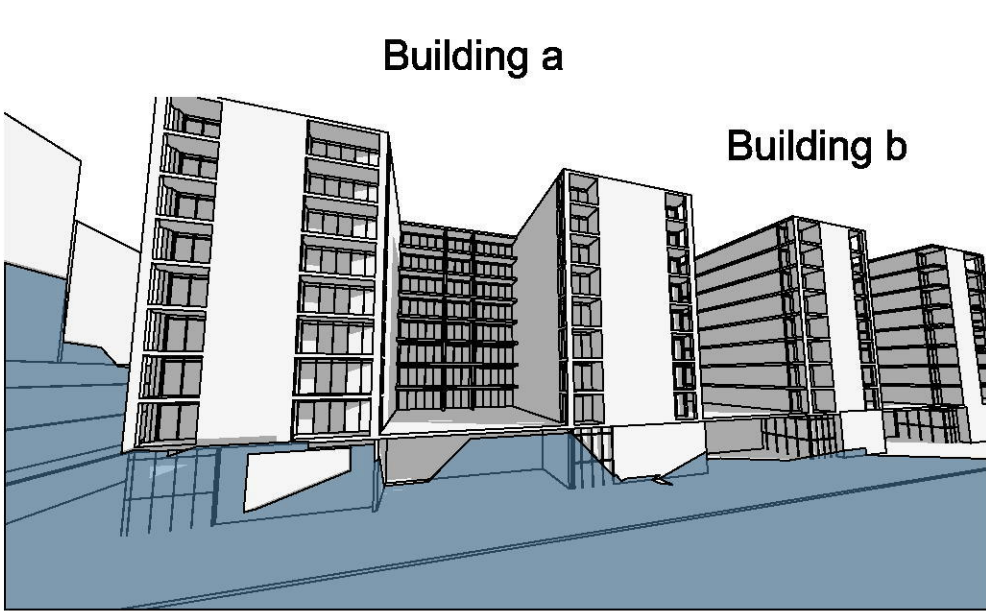
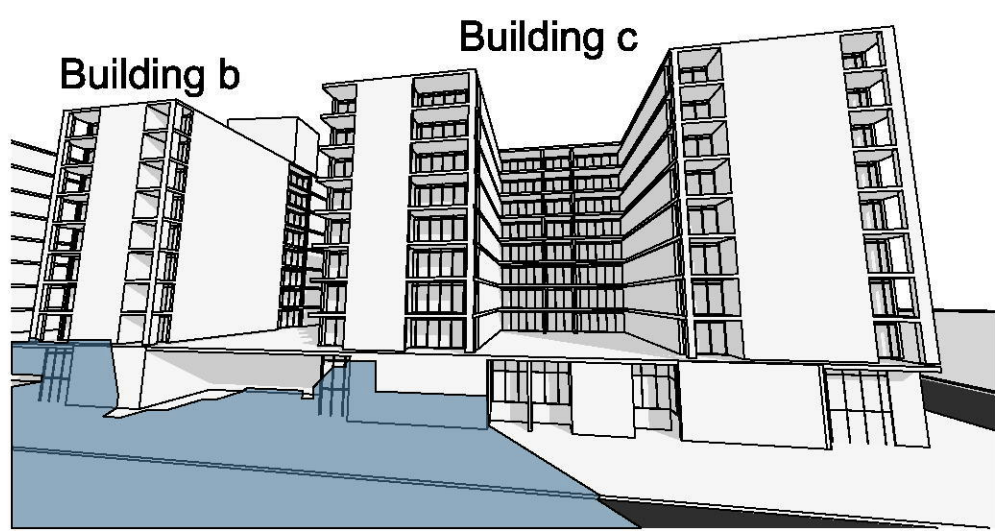
Shadow & Solar Analysis  
Shadow Diagram in 3D \_  
Proposal

Drawing Number **DA506**  
Revision **A**

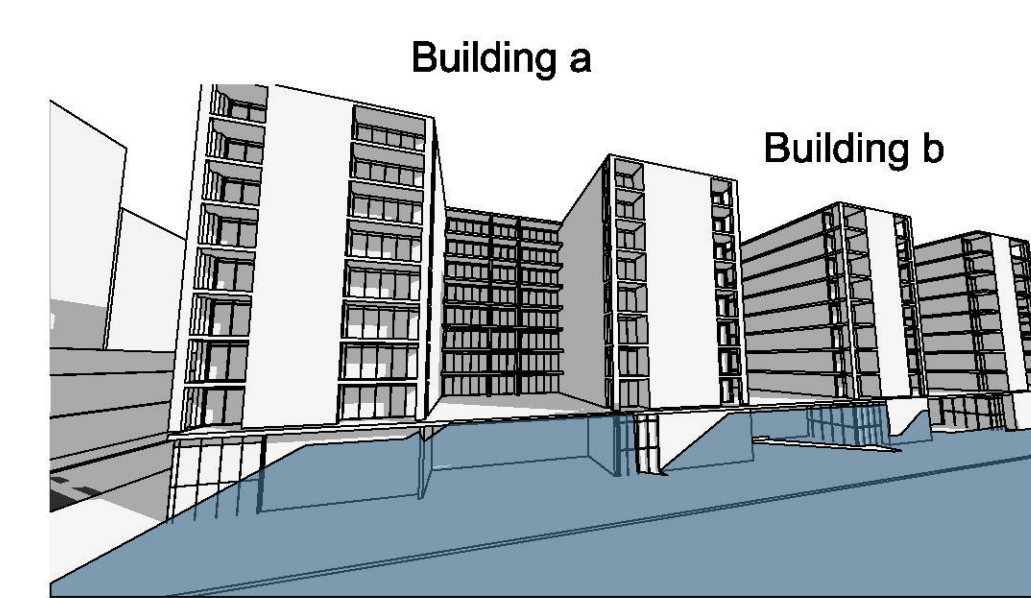
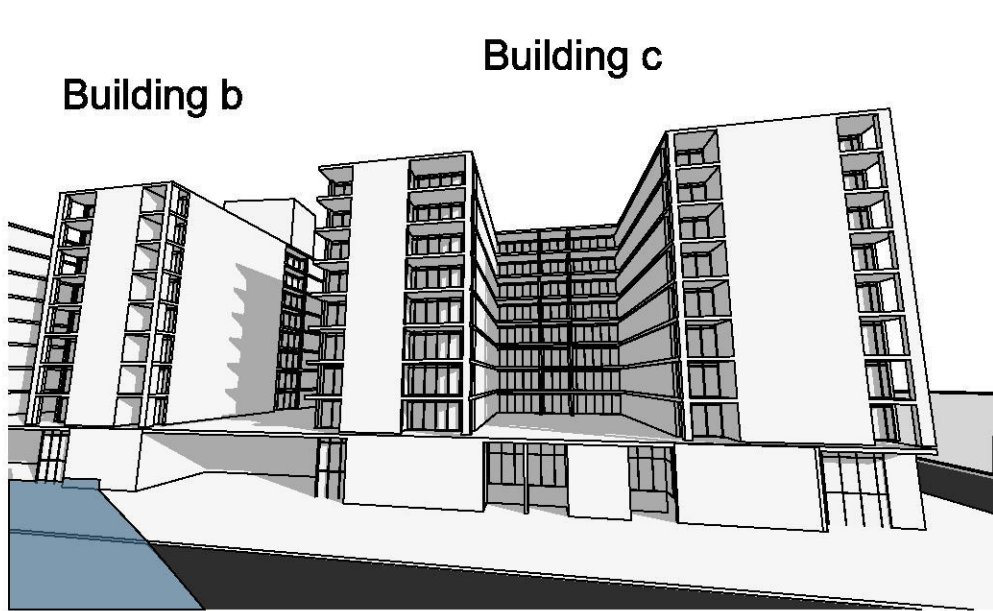
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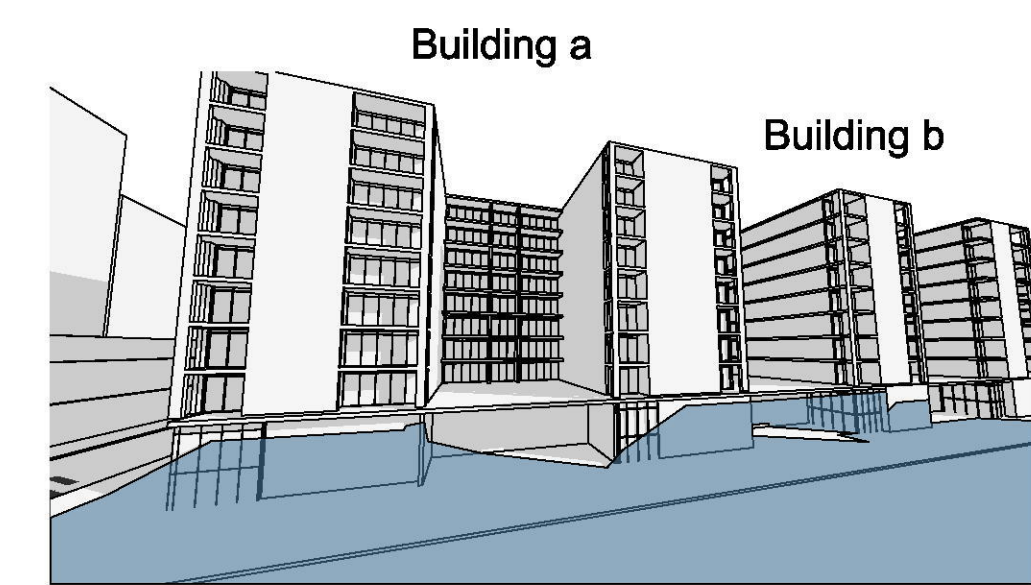
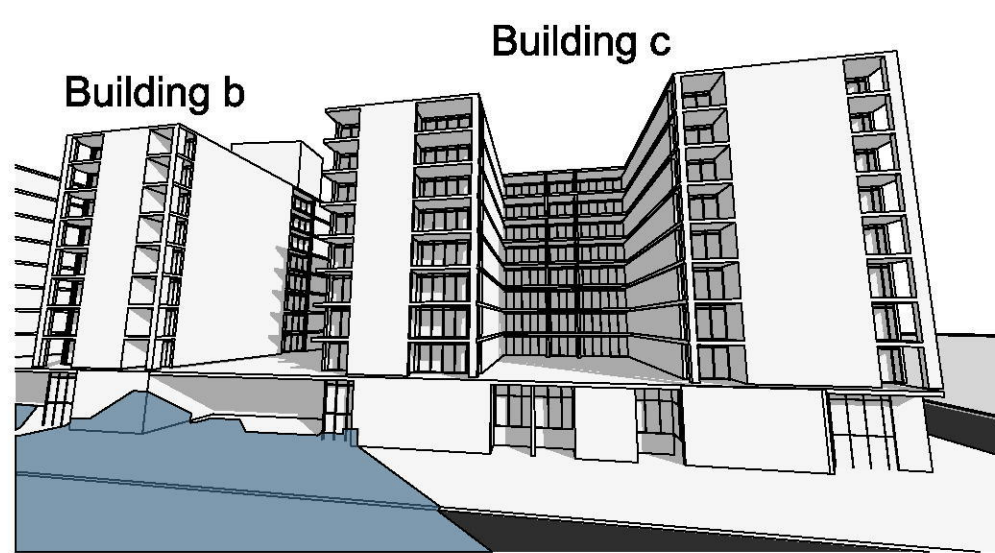
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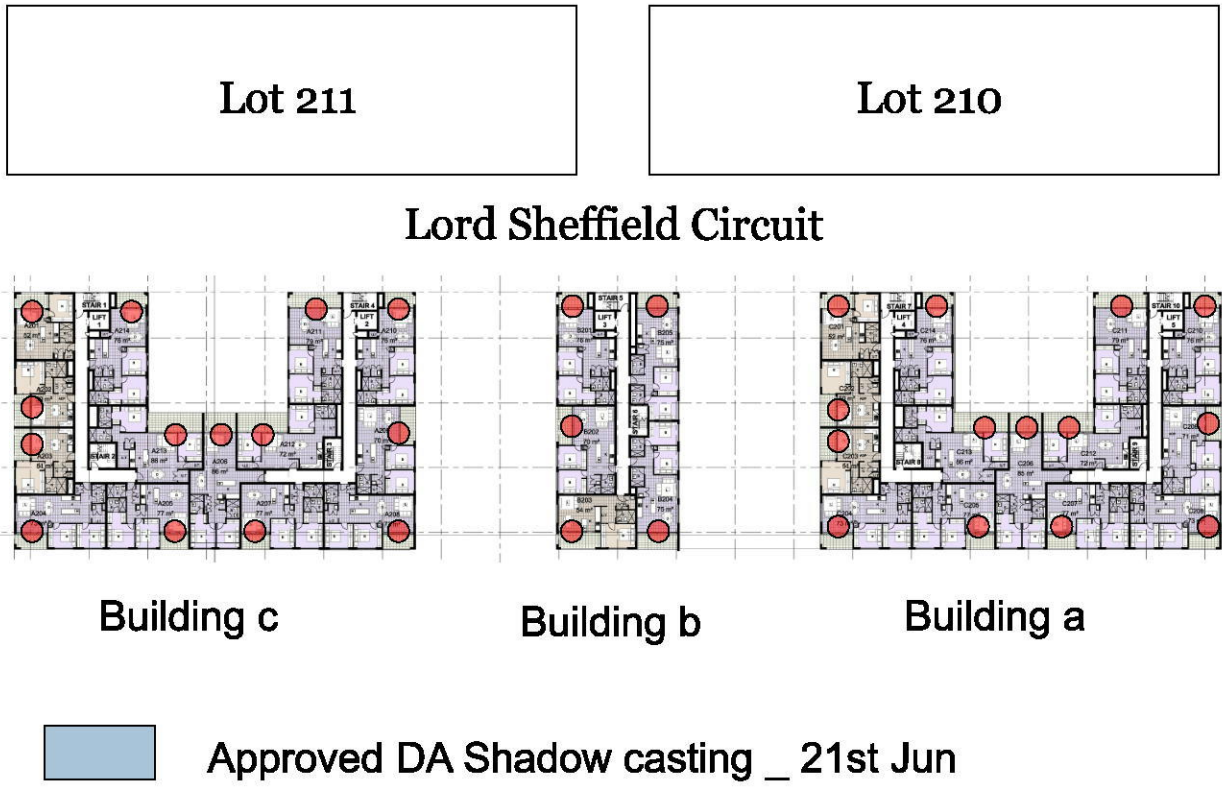
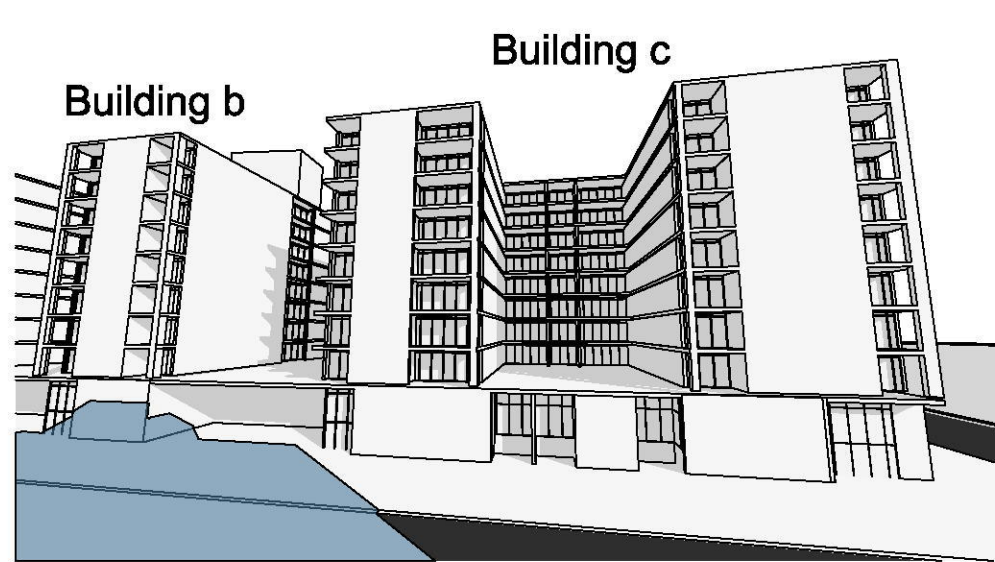
Jun 21st \_3pm



Jun 21st \_2pm



Jun 21st \_2.15pm



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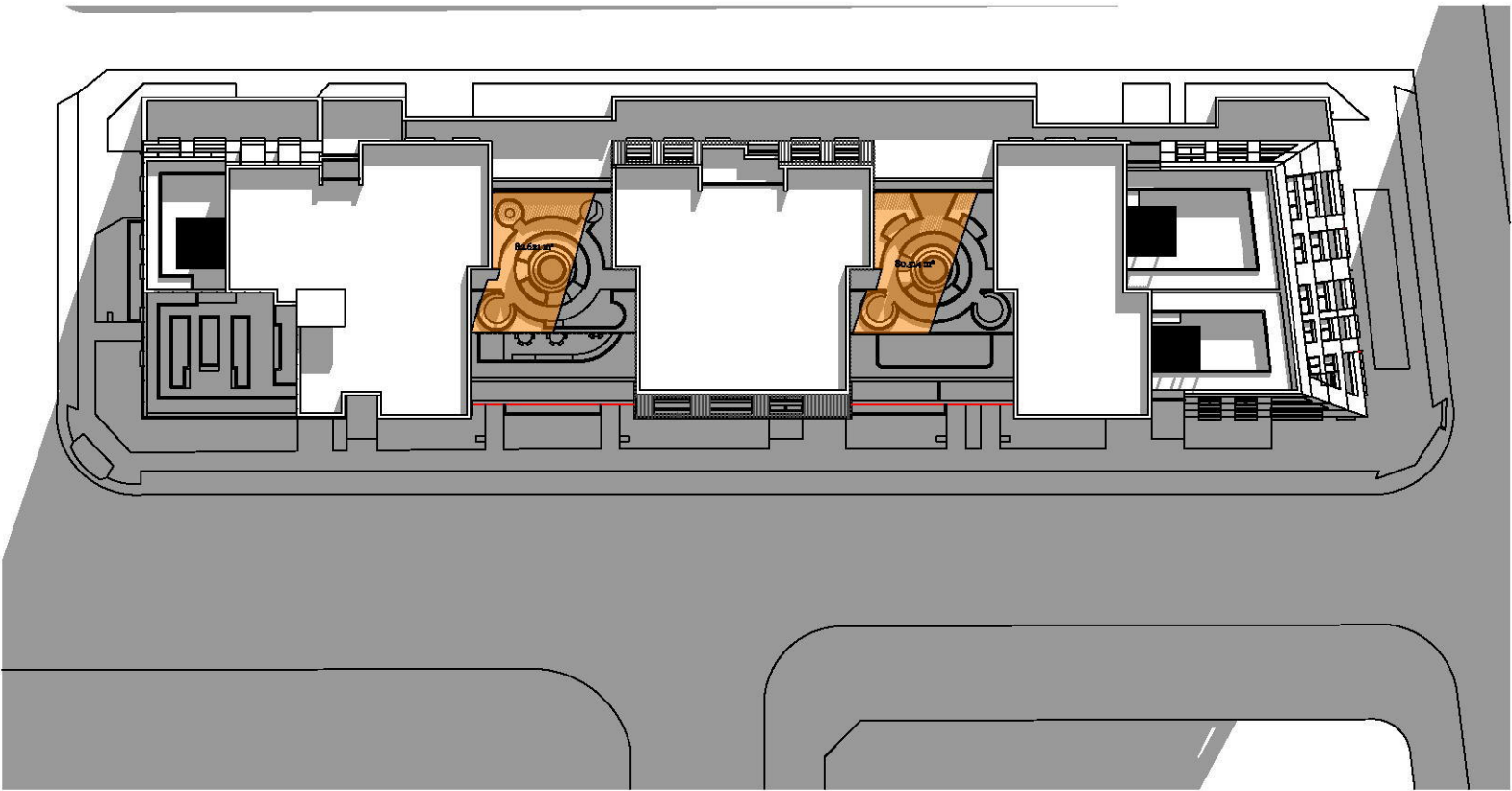
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DKO

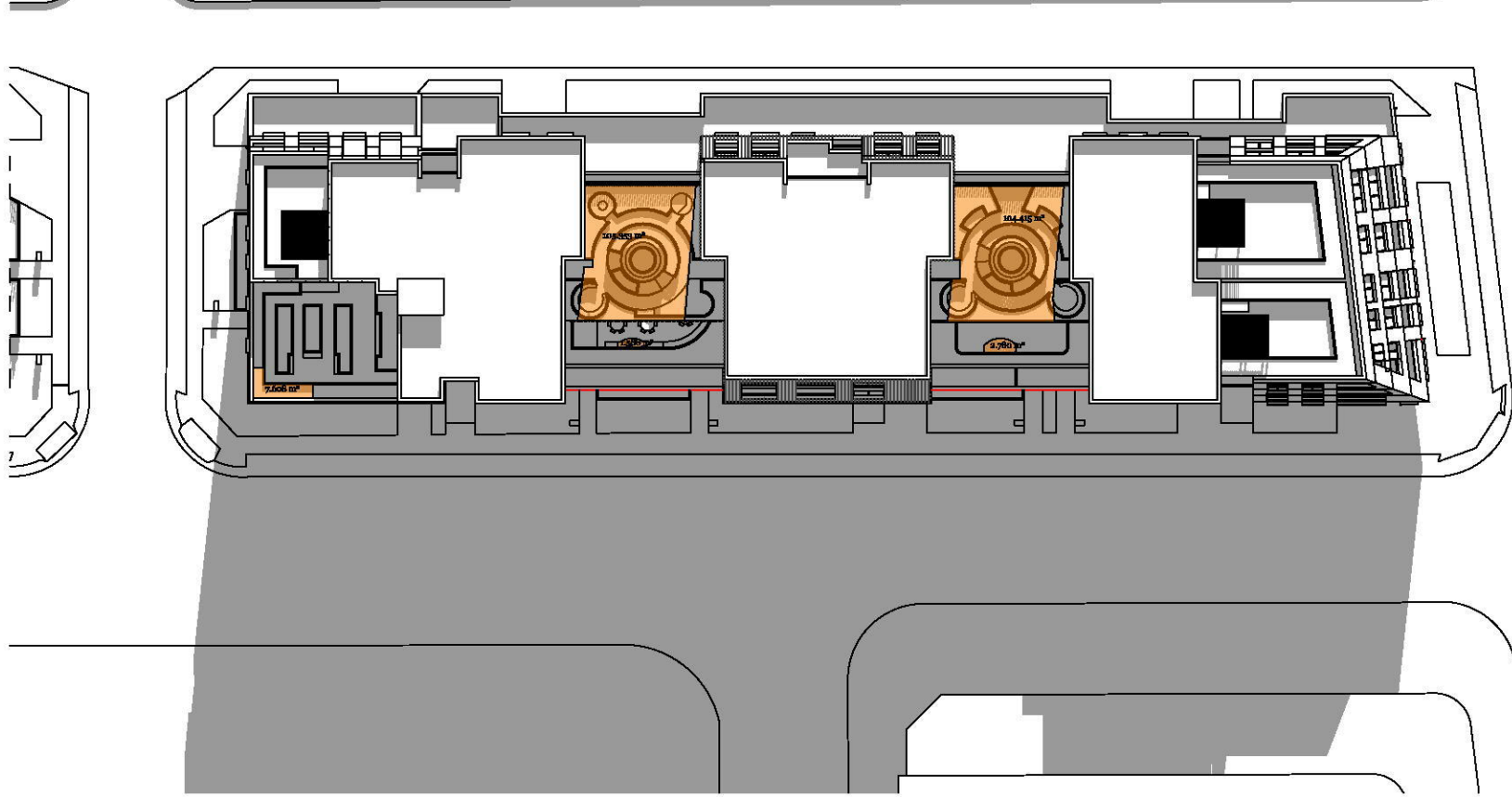
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Project Name	Lord Sheffield Circuit Penrith
Project Number	12116
Project Address	Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075
Drawn By	
Checked By	
Date	March 2019
Scale	1:4.84, 1:134995.64 @ A1
Drawing Series	Shadow & Solar Analysis
Drawing Name	Shadow Diagram in 3D _ Proposal

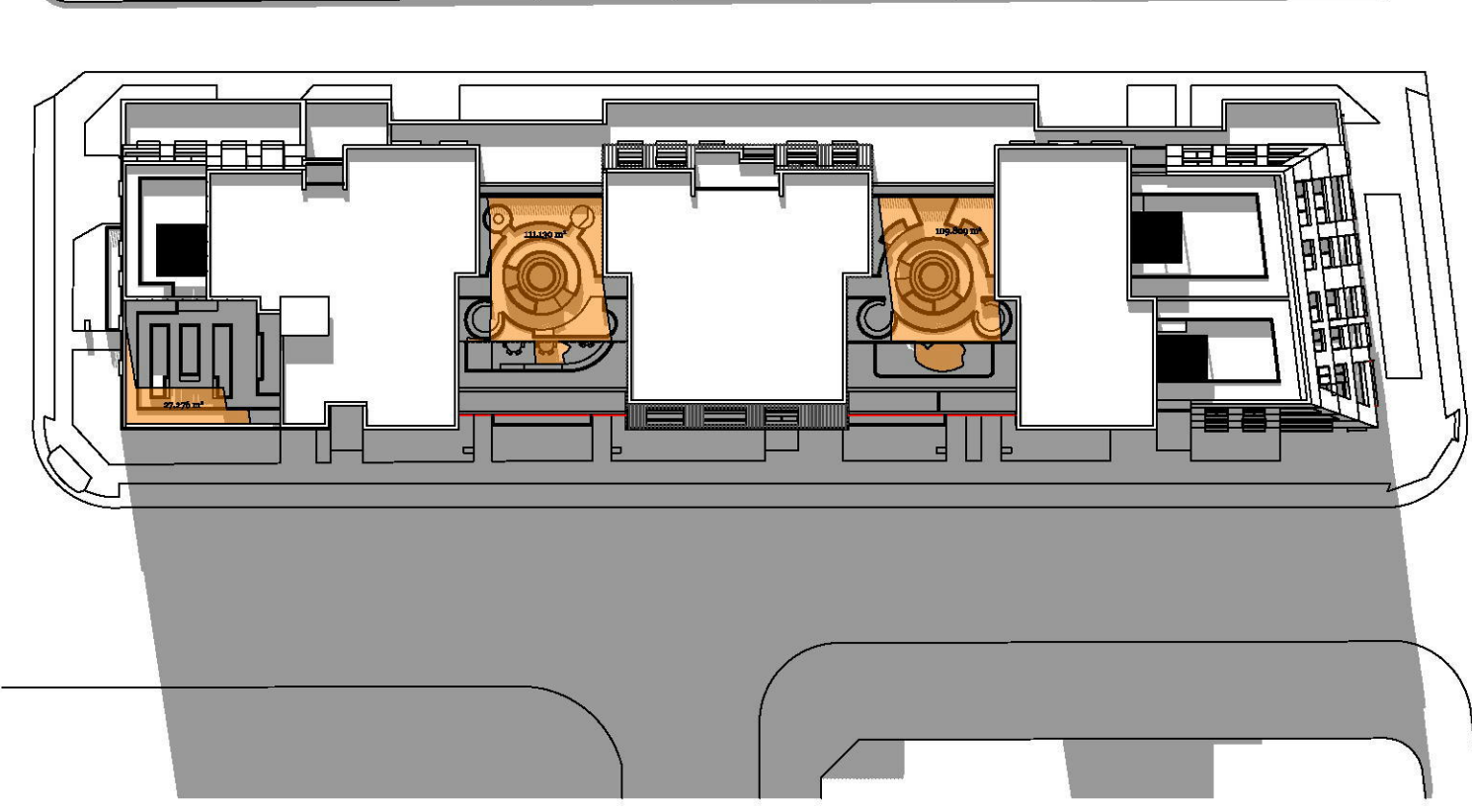
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Revision **A**



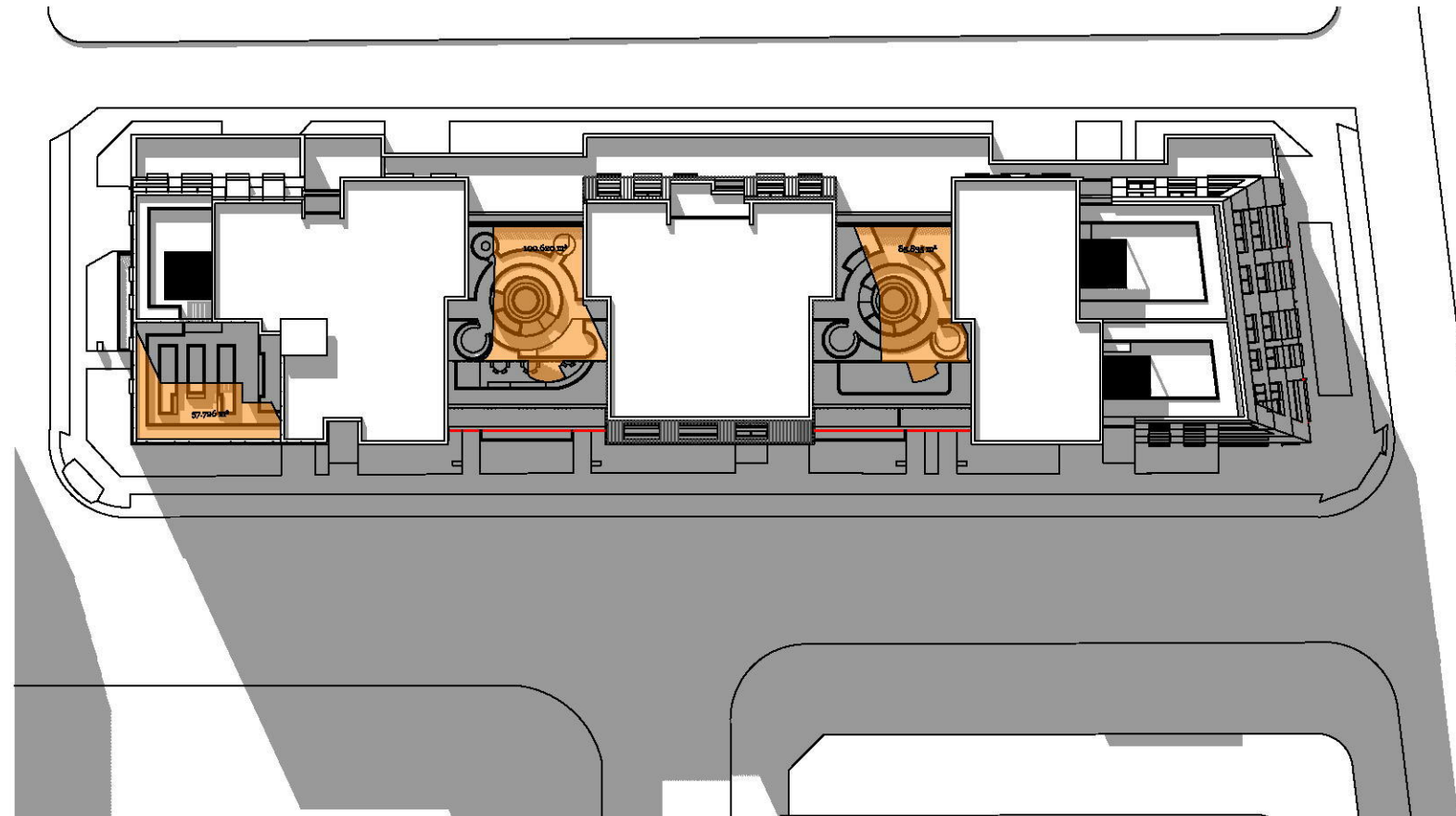
COS 9am \_ Lot 210 1:600



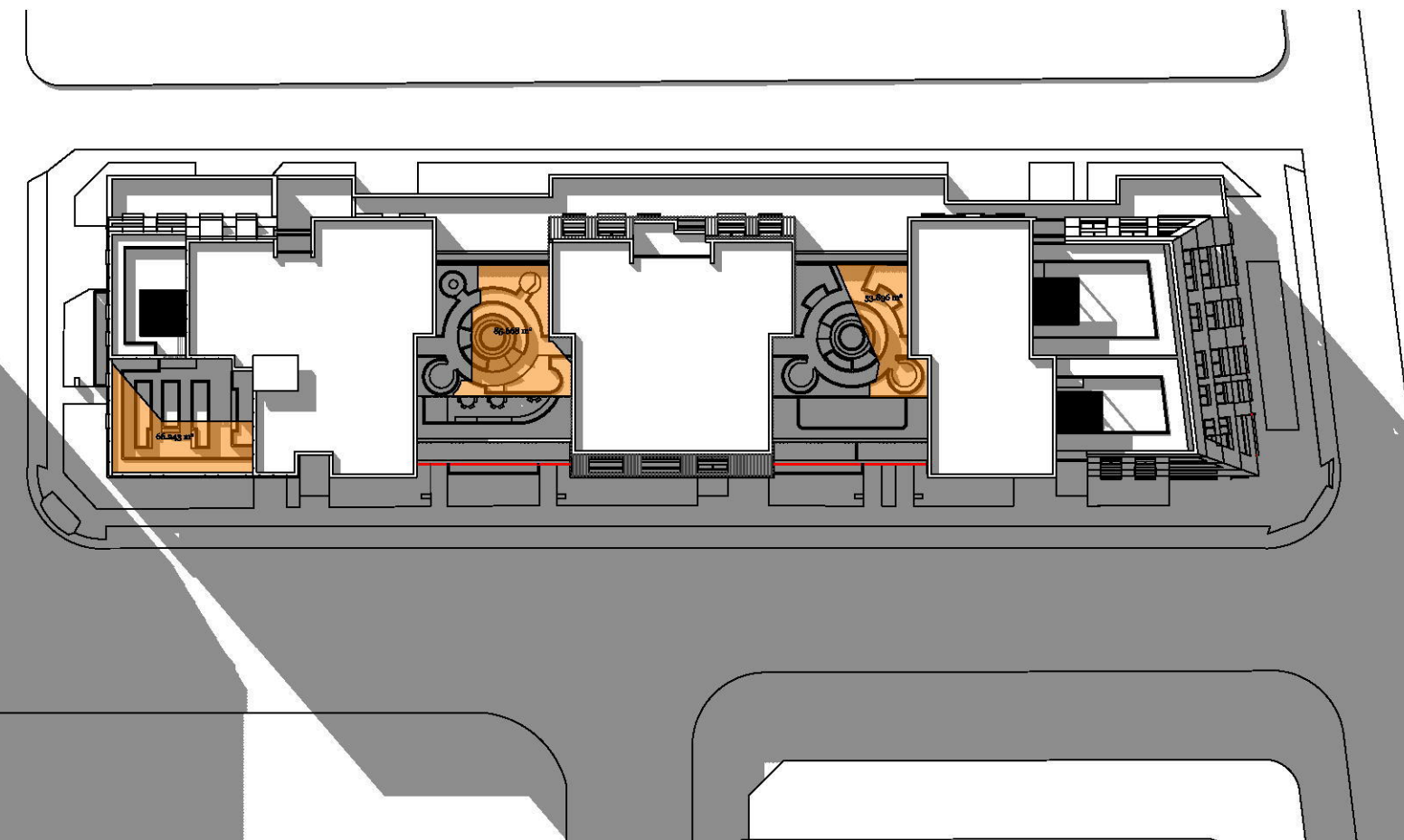
COS 10am \_ Lot 210 1:600



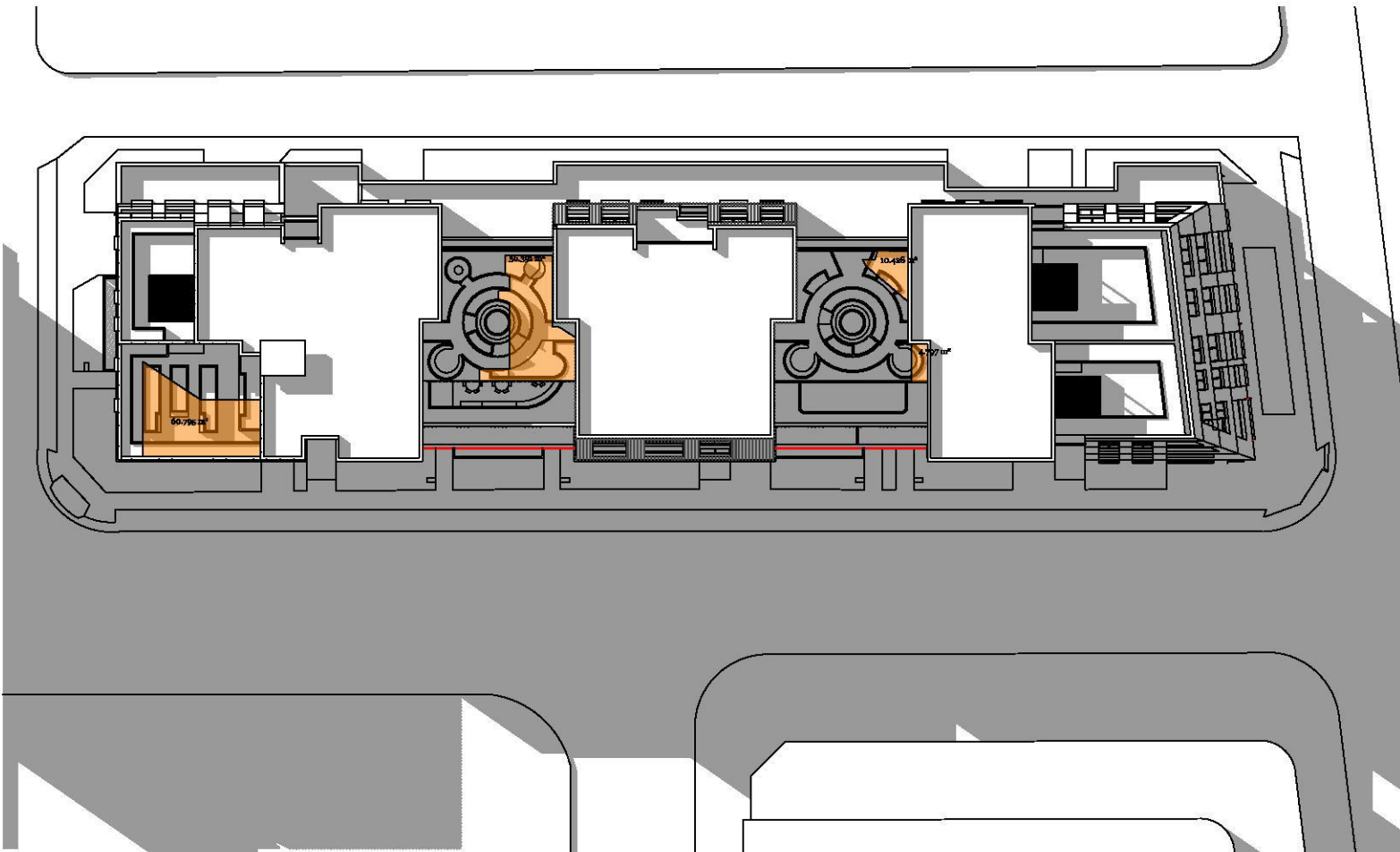
COS 11am \_ Lot 210 1:600



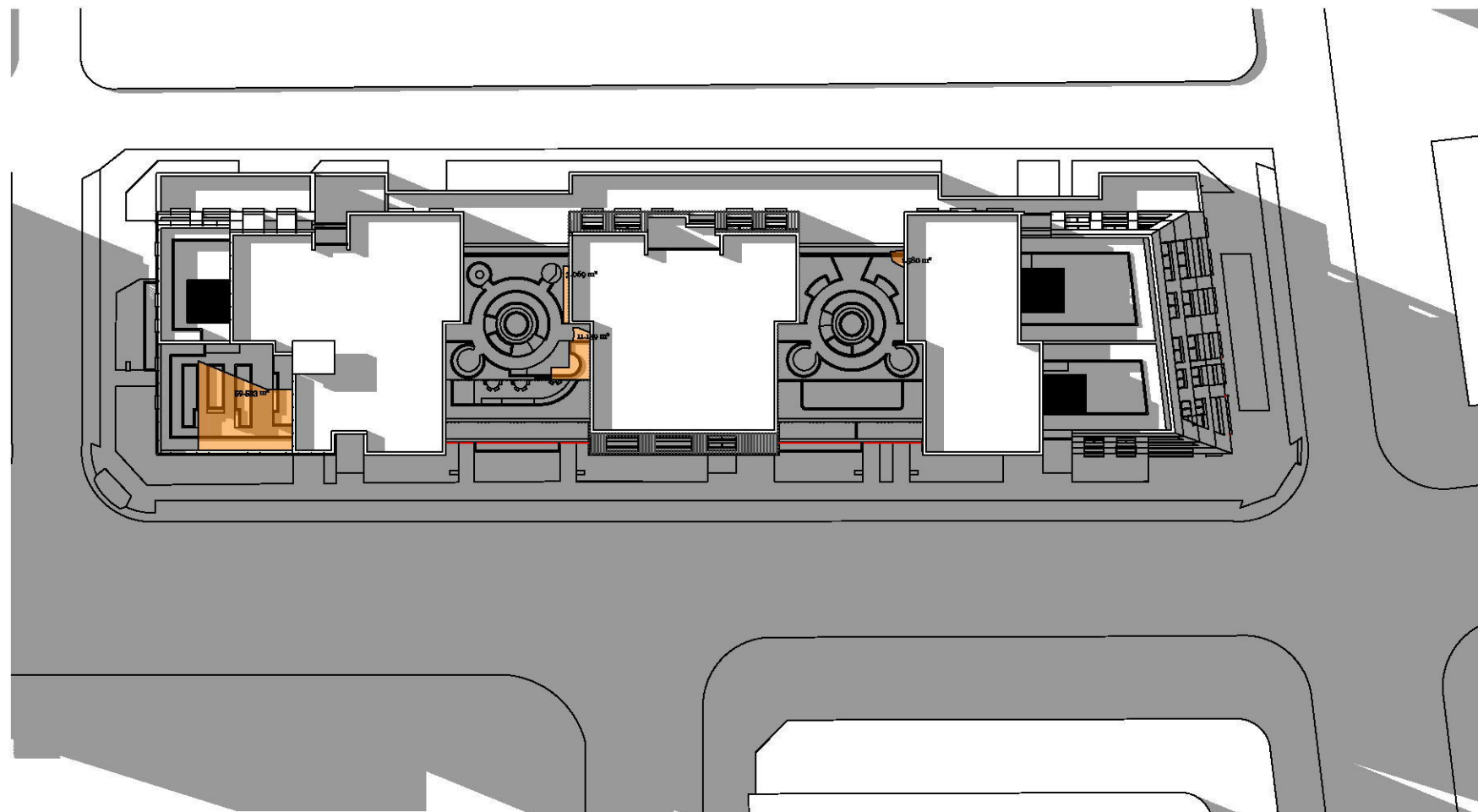
COS 12pm \_ Lot 210 1:600



COS 13pm \_ Lot 210 1:600



COS 14pm \_ Lot 210 1:600



COS 15pm \_ Lot 210 1:600

Communal Open Space that recieves sunlight on 21 June

- Principal Communal Open Space Area  
that receives sublight at 9am on 21 June: 163/371 sqm=44%
- Principal Communal Open Space Area  
that receives sublight at 10am on 21 June: 222/371 sqm=60%
- Principal Communal Open Space Area  
that receives sublight at 11am on 21 June: 248/371 sqm=67%
- Principal Communal Open Space Area  
that receives sublight at 12pm on 21 June: 244/371 sqm=66%
- Principal Communal Open Space Area  
that receives sublight at 13pm on 21 June: 206/371 sqm=56%
- Principal Communal Open Space Area  
that receives sublight at 14pm on 21 June: 132/371 sqm=36%
- Principal Communal Open Space Area  
that receives sublight at 15pm on 21 June: 75/371 sqm=20%

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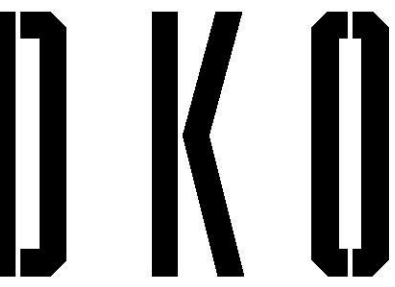
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Project Name  
Project Number  
Project Address

Drawn By  
Checked By  
Date  
Scale

March 2019  
1:600 @ A1

Drawing Series  
Drawing Name

Calculations  
C.O.S Solar Access \_Lot 210

Drawing Number **DA607**  
Revision **A**

Adaptable Unit Specifications

- All Doors in residential common use areas and commercial use areas:
- All single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
  - When using sliding doors, flush transition is required so provide fully recessed floor tracks. Also all sliding doors to have 510mm minimum available to latch side of the sliding door to enable access to door handle.
  - All fully glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
  - All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
  - All external doorways to have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.

- Door hardware requirements in residential common use areas and commercial use areas:
- D shaped door handles to be used, located at 900-1100mm above FFL
  - Clearance between the handle and the back plate or the door face at the centre grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle

- All stairways require the following:
- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail to handrail / wall)
  - Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
  - Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - Slip resistance to also comply with BCA Table D2.14 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided (requirement under D2.13 and D2.14) when tested as per AS4586.

- In addition to the above all non-fire-isolated stairways (on the ground floor level and basement level) require the following:
- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.

- All 1:14 ramps require the following
- All ramps to be compliant with: AS1428.1-2009, handrails on both sides with 1M clearance between handrails.
  - Handrail to extend a minimum of 300mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.
  - Handrails to be provided on both sides with 1M clearance between them and located between 865mm-1000mm above FFL (finished floor level) with no vertical sections.
  - Diameter of handrails to be between 30mm-50mm (30mm preferred) and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - At 90 / 180 degree bends the midlandings are requirement to be minimum of 1540mm when measured in between handrails

- Braille / Tactile Signage as per BCA requirements to be provided to:
- All doors nominated as Exit doors require signage
  - All Non-accessible entry points.
  - Accessible Sanitary Facilities.

- TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):
- At top and bottom landings of stairways/ ramps, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)
  - At mid landings of stairway/ ramps, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.

- Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below,
- Integrated TGSIs require min of 30%. Discrete TGSIs require min of 45%
  - Discrete with 2 colours require the raised surface to have a min of 60%

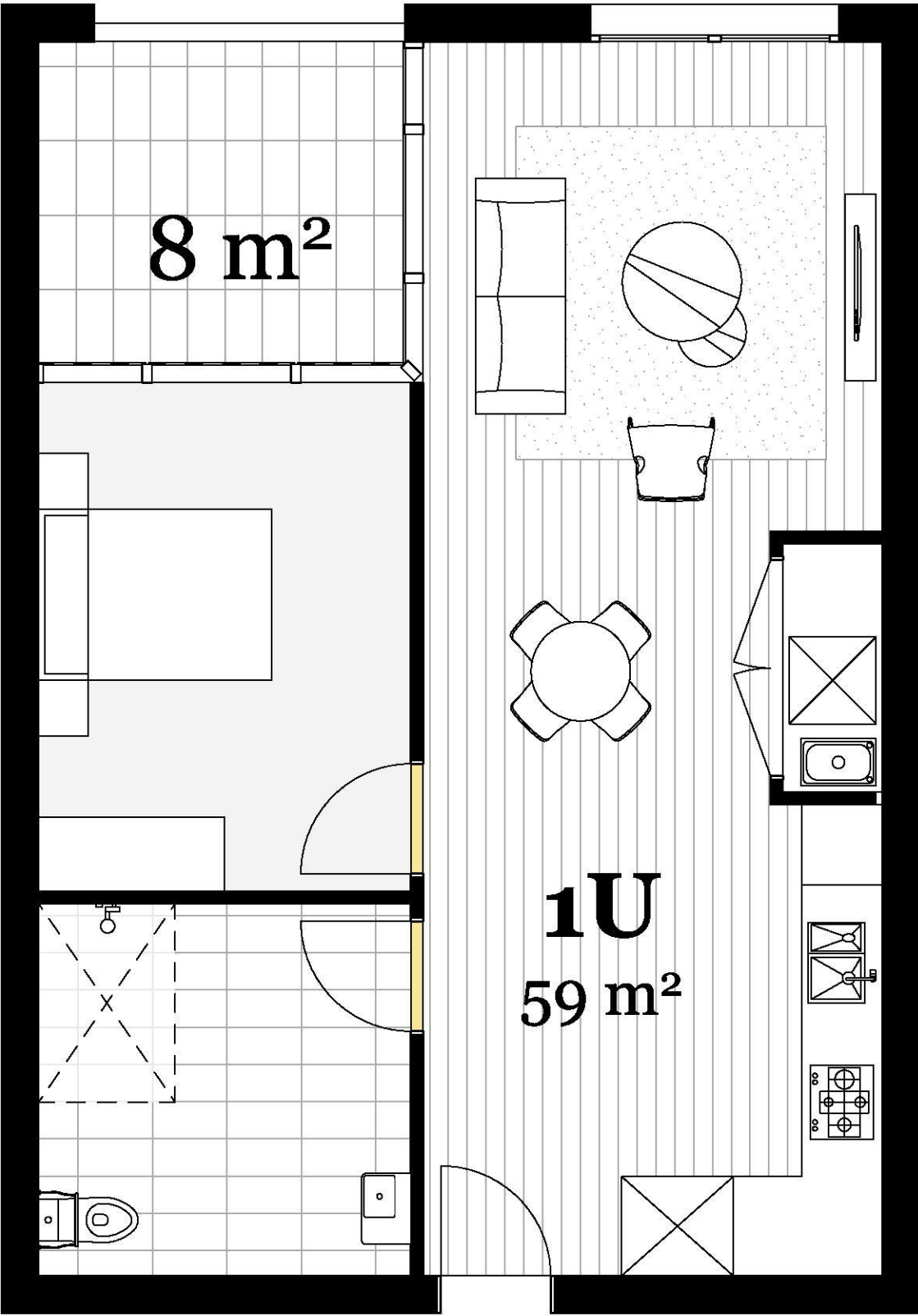
- Floor or ground surfaces
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. Abutment of surfaces is to have a smooth transition. Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge). Grates (if used in the accessible path of travel) are required to comply with AS1428.1.

- Accessible Car parking
- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
  - Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
  - Central Bollard In shared space at 800+/-50mm from entry point
  - Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)
  - Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
  - Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
  - The pavement marking shall have the appropriate slip resistance for the location.

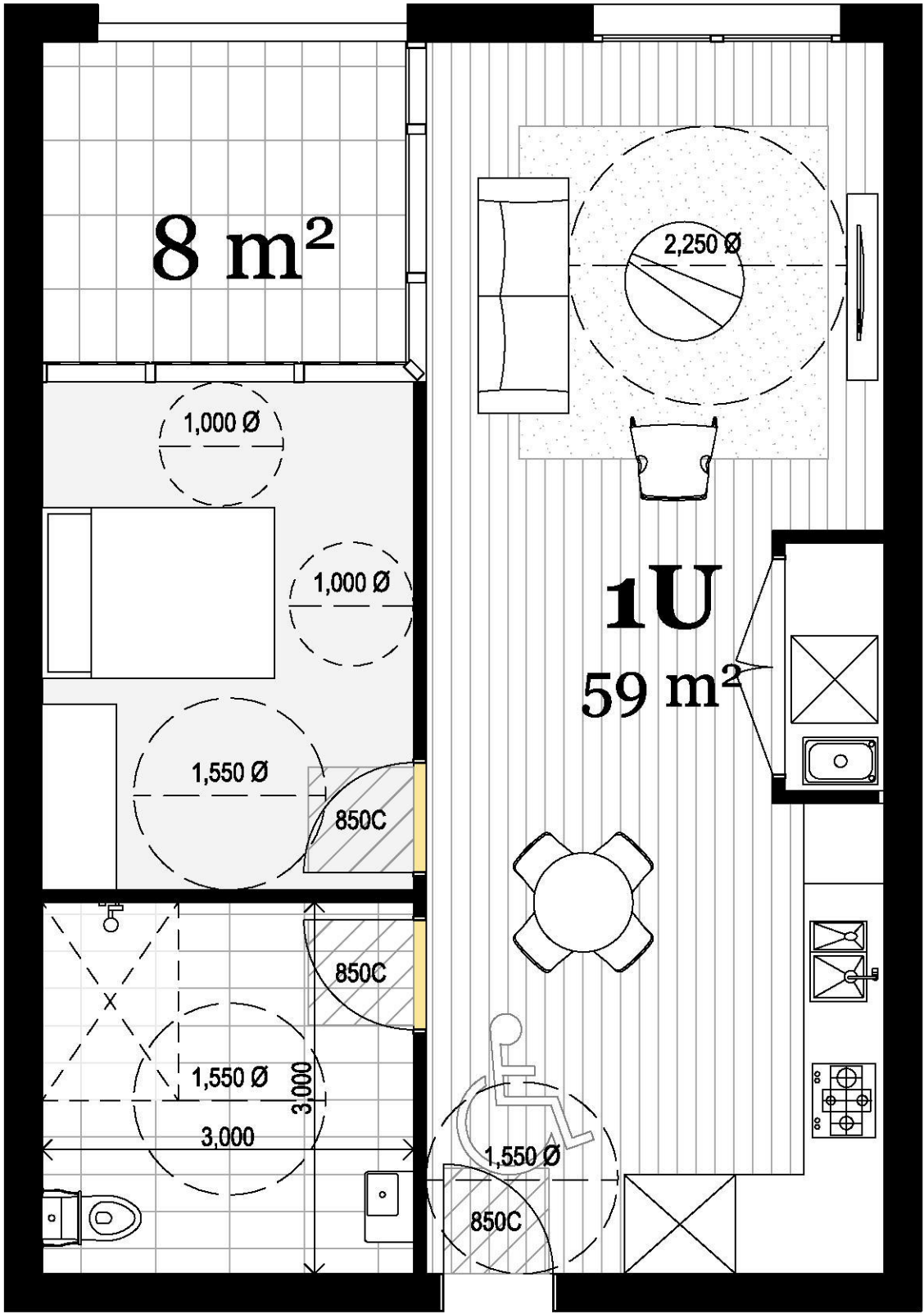
- Lifts
- Lift to comply with the requirements of BCA Part E3- Lift installations.
  - All external lift control buttons to be located between 900-1100mm above FFL and not less than 500mm from internal corners

- Slip resistance
- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
  - All wet areas / outdoor areas associated with Adaptable units to be slip resistant as per AS3661/ AS4586.
  - Refer to guide HB 197 for details in regards to compliance requirements.

- Adaptable and Livable units
- All adaptable units to be constructed as per requirements of AS4299 as listed in the Access report by Accesslink to Class C level.
  - Note that flush transition is required to all flooring in the unit, which means that recessed floor slabs will be required to wet areas.
  - All passageways in these units are required to provide 1M clear passageways when measured from skirting to skirting.
  - All doorways to provide for 820mm clear opening space as a minimum. The main entry doorway doorway to main adaptable bathroom and main adaptable bedroom to provide for 850mm clear opening space.
  - At least 1 hobless shower to be provided. At least 1 toilet to have WC in the corner with a clear space of 900x1200 in front of the pan and a side wall reinforced.



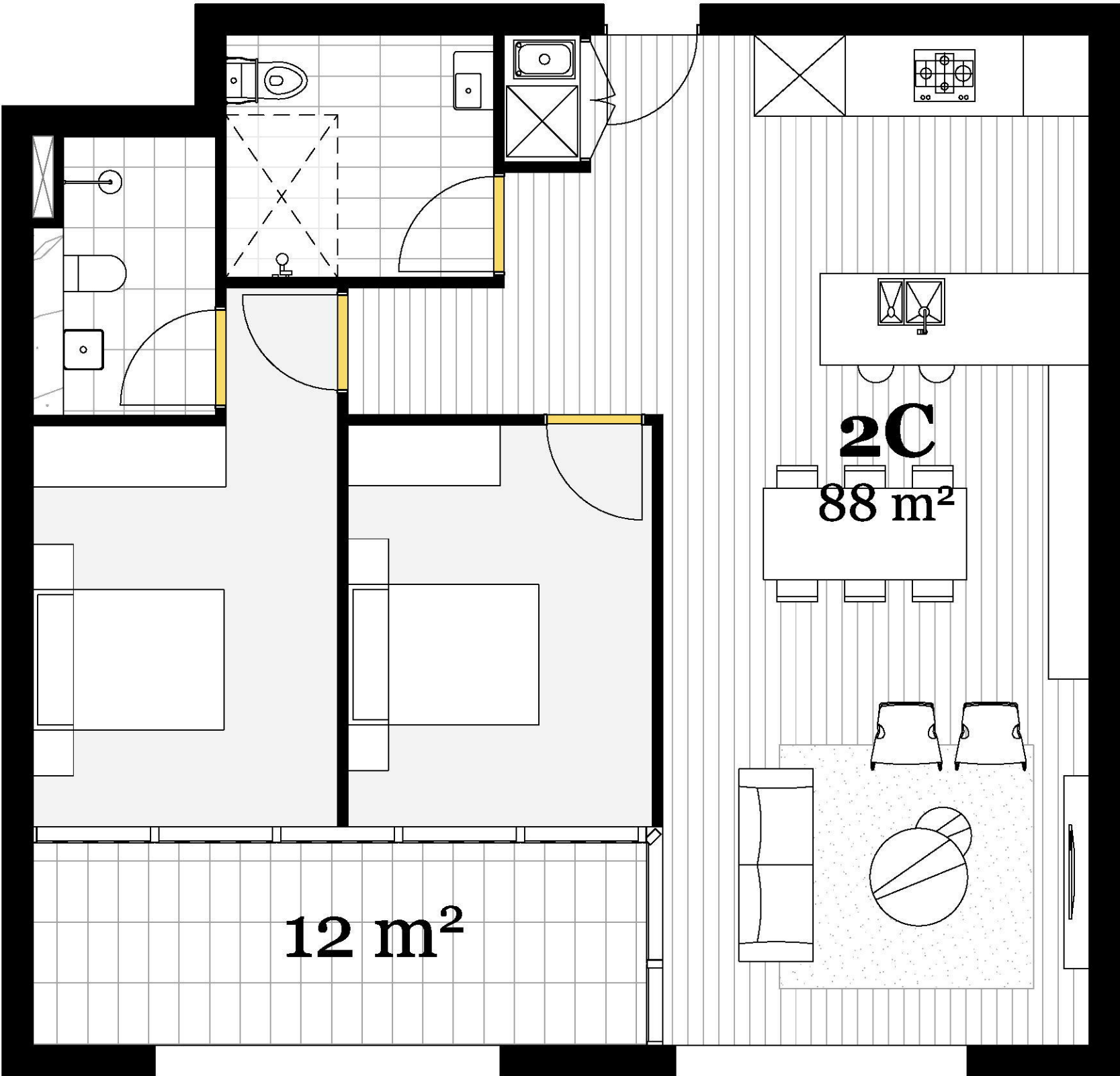
Pre-adaptable Unit \_ 1U



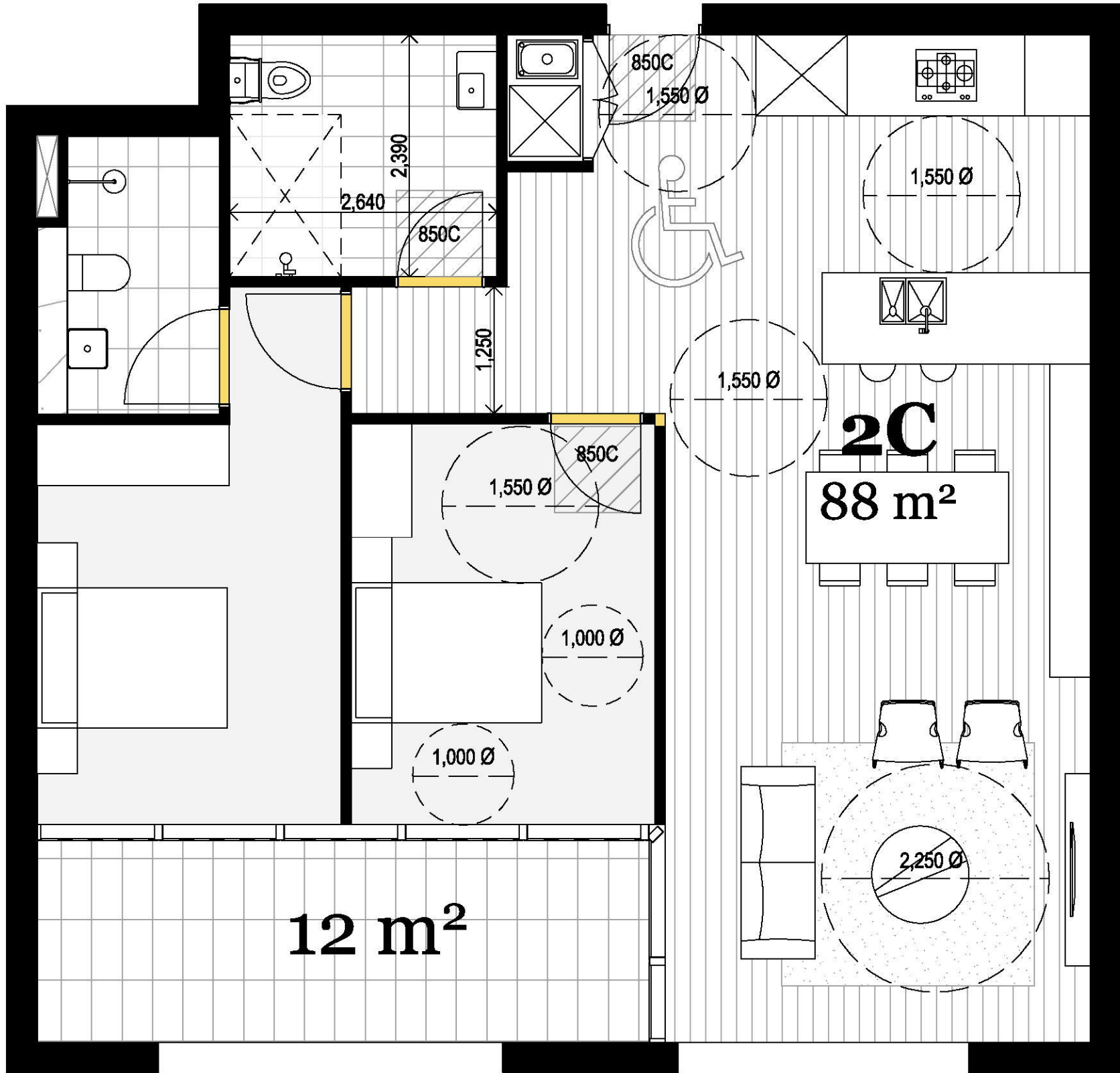
Post-adaptable Unit \_ 1U

Unit No.: 1.09; 2.10; 3.10; 4.10

Total Units: 4



Pre-adaptable Unit \_ 2C



Post-adaptable Unit \_2C

Unit No.: 1.06; 2.07; 3.07; 4.07; 5.07; 6.07

Total Units: 6

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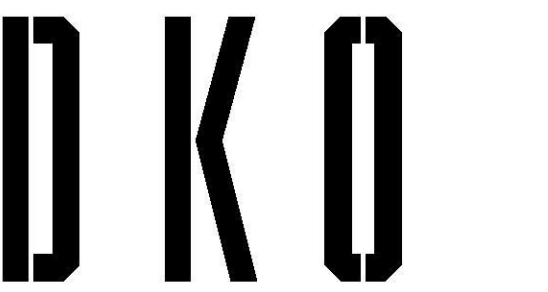
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Project Name  
Project Number  
Project Address

Drawn By  
Checked By  
Date  
Scale

Drawing Series  
Drawing Name

Drawing Number  
Revision

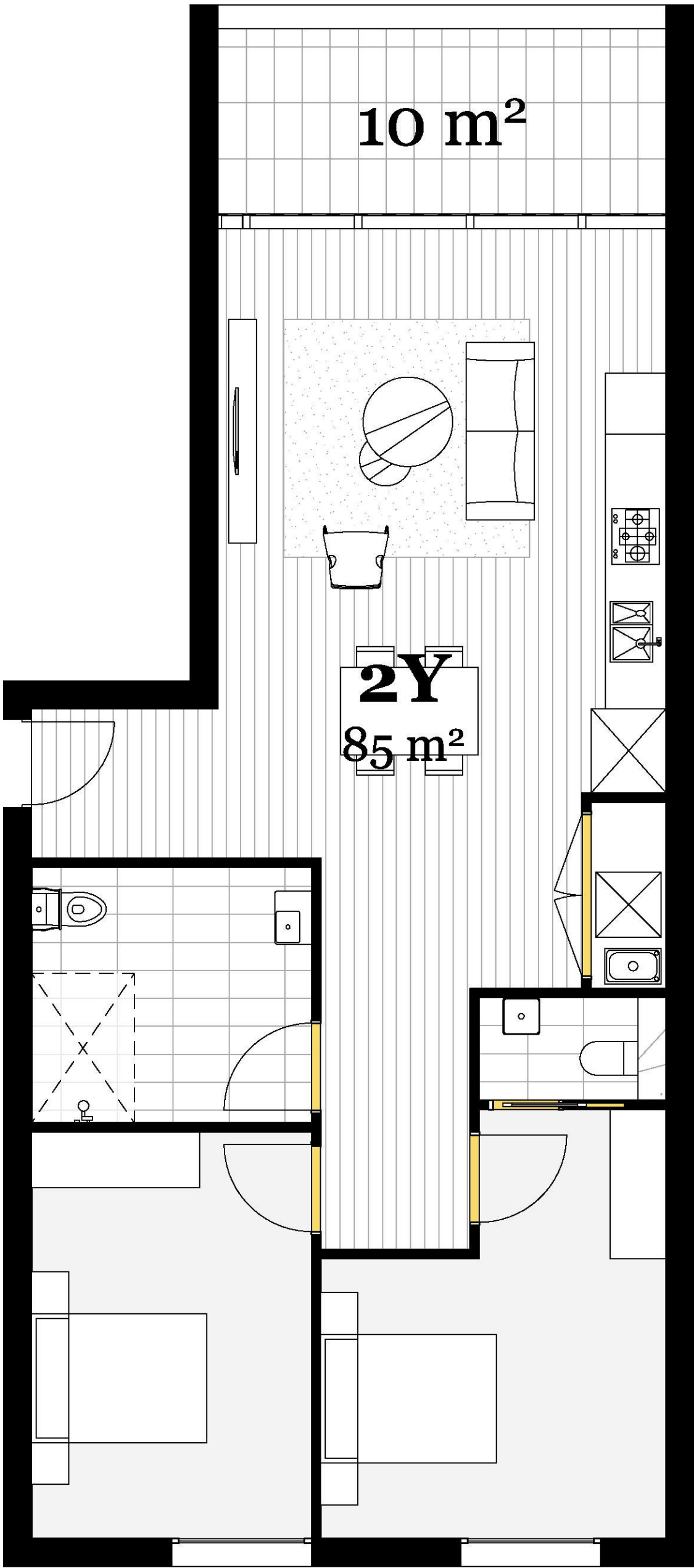
Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

GA Plans \_ Lot 210  
Adaptable Units

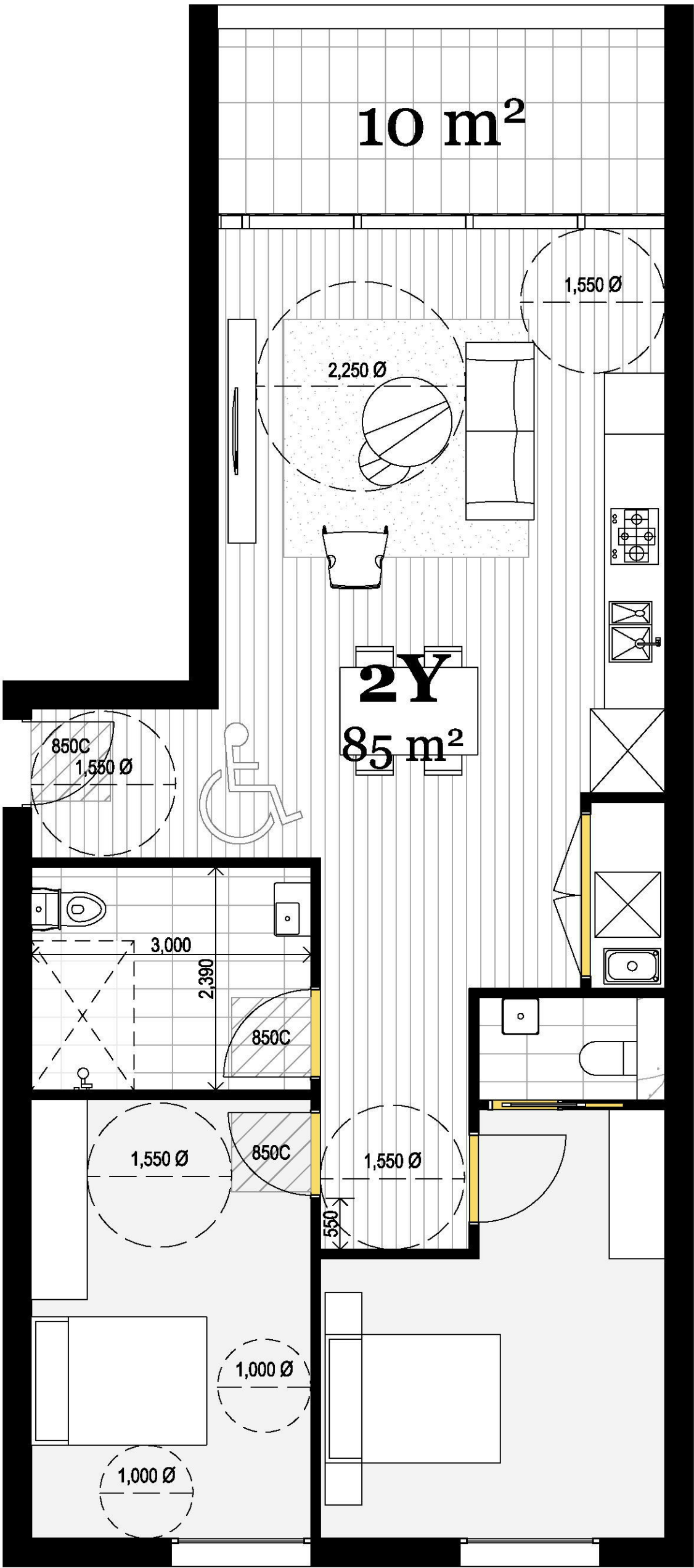
DA206  
A

Adaptable Unit Specifications

All Doors in residential common use areas and commercial use areas:	
<ul style="list-style-type: none"><li>- All single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.</li><li>- When using sliding doors, flush transition is required so provide fully recessed floor tracks. Also all sliding doors to have 510mm minimum available to latch side of the sliding door to enable access to door handle.</li><li>- All fully glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.</li><li>- All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.</li><li>- All external doorways to have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.</li></ul>	
Door hardware requirements in residential common use areas and commercial use areas:	
<ul style="list-style-type: none"><li>- D shaped door handles to be used, located at 900-1100mm above FFL</li><li>- Clearance between the handle and the back plate or the door face at the centre grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle</li></ul>	
All stairways require the following:	
<ul style="list-style-type: none"><li>- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail / wall)</li><li>- Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.</li><li>- Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.</li><li>- Slip resistance to also comply with BCA Table D2.14 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided (requirement under D2.13 and D2.14) when tested as per AS4586.</li></ul>	
In addition to the above all non-fire-isolated stairways (on the ground floor level and basement level) require the following:	
<ul style="list-style-type: none"><li>- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.</li></ul>	
All 1:14 ramps require the following	
<ul style="list-style-type: none"><li>- All ramps to be compliant with: AS1428.1-2009, handrails on both sides with 1M clearance between handrails.</li><li>- Handrail to extend a minimum of 300mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.</li><li>- Handrails to be provided on both sides with 1M clearance between them and located between 865mm-1000mm above FFL (finished floor level) with no vertical sections.</li><li>- Diameter of handrails to be between 30mm-50mm (30mm preferred) and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.</li><li>- At 90 / 180 degree bends the midlandings are requirement to be minimum of 1540mm when measured in between handrails</li></ul>	
Braille / Tactile Signage as per BCA requirements to be provided to:	
<ul style="list-style-type: none"><li>- All doors nominated as Exit doors require signage</li><li>- All Non-accessible entry points.</li><li>- Accessible Sanitary Facilities.</li></ul>	
TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):	
<ul style="list-style-type: none"><li>- At top and bottom landings of stairways/ ramps, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)</li><li>- At mid landings of stairway/ ramps, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.</li></ul>	
Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below,	
<ul style="list-style-type: none"><li>- Integrated TGSIs require min of 30%. Discrete TGSIs require min of 45%</li><li>- Discrete with 2 colours require the raised surface to have a min of 60%</li></ul>	
Floor or ground surfaces	
<ul style="list-style-type: none"><li>- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. Abutment of surfaces is to have a smooth transition. Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge). Grates (if used in the accessible path of travel) are required to comply with AS1428.1.</li></ul>	
Accessible Car parking	
<ul style="list-style-type: none"><li>- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level</li><li>- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors</li><li>- Central Bollard In shared space at 800+/-50mm from entry point</li><li>- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)</li><li>- Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces</li><li>- Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)</li><li>- The pavement marking shall have the appropriate slip resistance for the location.</li></ul>	
Lifts	
<ul style="list-style-type: none"><li>- Lift to comply with the requirements of BCA Part E3- Lift installations.</li><li>- All external lift control buttons to be located between 900-1100mm above FFL and not less than 500mm from internal corners</li></ul>	
Slip resistance	
<ul style="list-style-type: none"><li>- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.</li><li>- All wet areas / outdoor areas associated with Adaptable units to be slip resistant as per AS3661/ AS4586.</li><li>- Refer to guide HB 197 for details in regards to compliance requirements.</li></ul>	
Adaptable and Livable units	
<ul style="list-style-type: none"><li>- All adaptable units to be constructed as per requirements of AS4299 as listed in the Access report by Accesslink to Class C level.</li><li>- Note that flush transition is required to all flooring in the unit, which means that recessed floor slabs will be required to wet areas.</li><li>- All passageways in these units are required to provide 1M clear passageways when measured from skirting to skirting.</li><li>- All doorways to provide for 820mm clear opening space as a minimum. The main entry doorway doorway to main adaptable bathroom and main adaptable bedroom to provide for 850mm clear opening space.</li><li>- At least 1 hobless shower to be provided. At least 1 toilet to have WC in the corner with a clear space of 900x1200 in front of the pan and a side wall reinforced.</li></ul>	



Pre-adaptable Unit\_2Y



Post-adaptable Unit\_2Y

Unit No.: 1.11; 2.12; 3.12; 4.12; 5.11

Total Units: 5

Total Adaptable Units: 15

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A	20/03/2019	MA	SO	Issue for Submission

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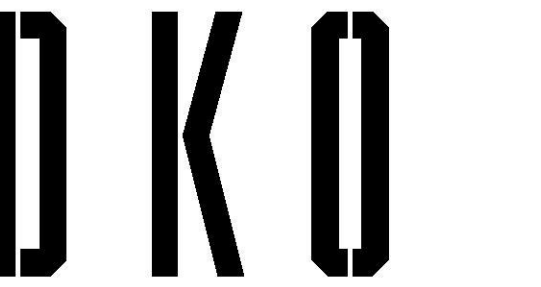
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Project Number  
Project Address

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Drawn By  
Checked By  
Date  
Scale

March 2019  
1:50 @ A1

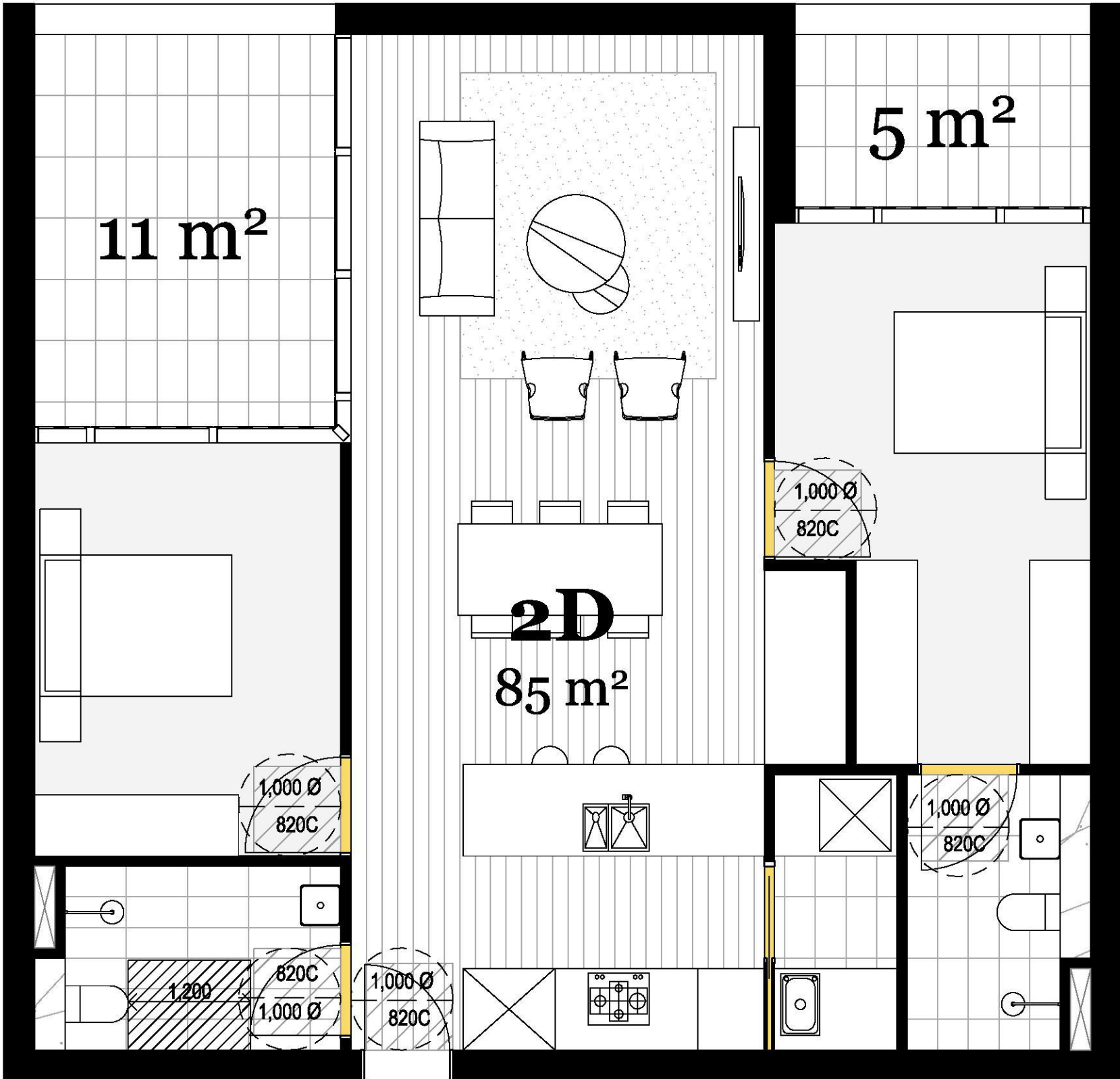
Drawing Series  
Drawing Name

GA Plans\_ Lot 210  
Adaptable Units

Drawing Number **DA207**  
Revision **A**

Silver Standard Livable Housing Unit Specifications

Dwelling Access
For Class 2 buildings, the Commonwealth Disability (Access toPremises – Buildings) Standards 20105 require a safe and continuous pathway from the pedestrian entrance to at least one floor containing sole occupancy units and to the entrance of units located on that level.
Dwelling Entrance
a. The dwelling should provide an entrance door with -
i. a minimum clear opening width of 820mm (see Figure 2(a));
ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and
iii. reasonable shelter from the weather.
b. A level landing area of 1200mm x 1200mm should be provided at the level (step-free) entrance door.
c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)).
d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1.
Car Parking
a. Where the parking area forms part of the dwelling access thespace should incorporate:
i. minimum dimensions of at least 3200mm (width) x5400mm (length);
ii. an even, firm and slip resistant surface; and
iii. a level surface (1:40 maximum gradient, 1:33 maximumgradient for bitumen).
Internal doors and Corridors
a. Doorways to rooms on the entry level used for living, dining,bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:
i. a minimum clear opening width of 820mm (see Figure 2(a)); and
ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).
b. Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm.
Toilet
a. Dwellings should have a toilet on the ground (or entry) level that provides:
i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and
ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).
b. If the toilet is located within the ground (or entry) level bathroom, the toilet pan should be located in the corner of the room to enable the installation of grabrails.
Shower
a. One bathroom should feature a slip resistant, hobless (stepfree) shower recess. Shower creens are permitted provided they can be easily removed at a later date.
b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.
Internal Stairways
a. Stairways in dwellings must feature:
i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.
Kitchen Space
No requirements.
Laundry Space
No requirements.
Gruond level Bedroom Space
No requirements.
Switches and Powerpoints
No requirements.
Door and Tap Hardware
No requirements.
Family/living room space
No requirements.
Window Sills
No requirements.
Flooring
No requirements.



Silver Standard Livable Housing Unit \_2D

Unit No.: 1.16; 2.04; 2.17; 3.04; 3.17; 4.04; 4.17;  
5.09; 5.10; 5.16; 6.09; 6.14; 6.15; 7.03  
Total Units: 14

Total Adaptable Apartments: 15

Total Silver Standard Livable Housing Units: 29

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A	29/03/2019	MA	SO	Issue for Submission

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Project Name  
Project Number  
Project Address

Drawn By  
Checked By  
Date  
Scale

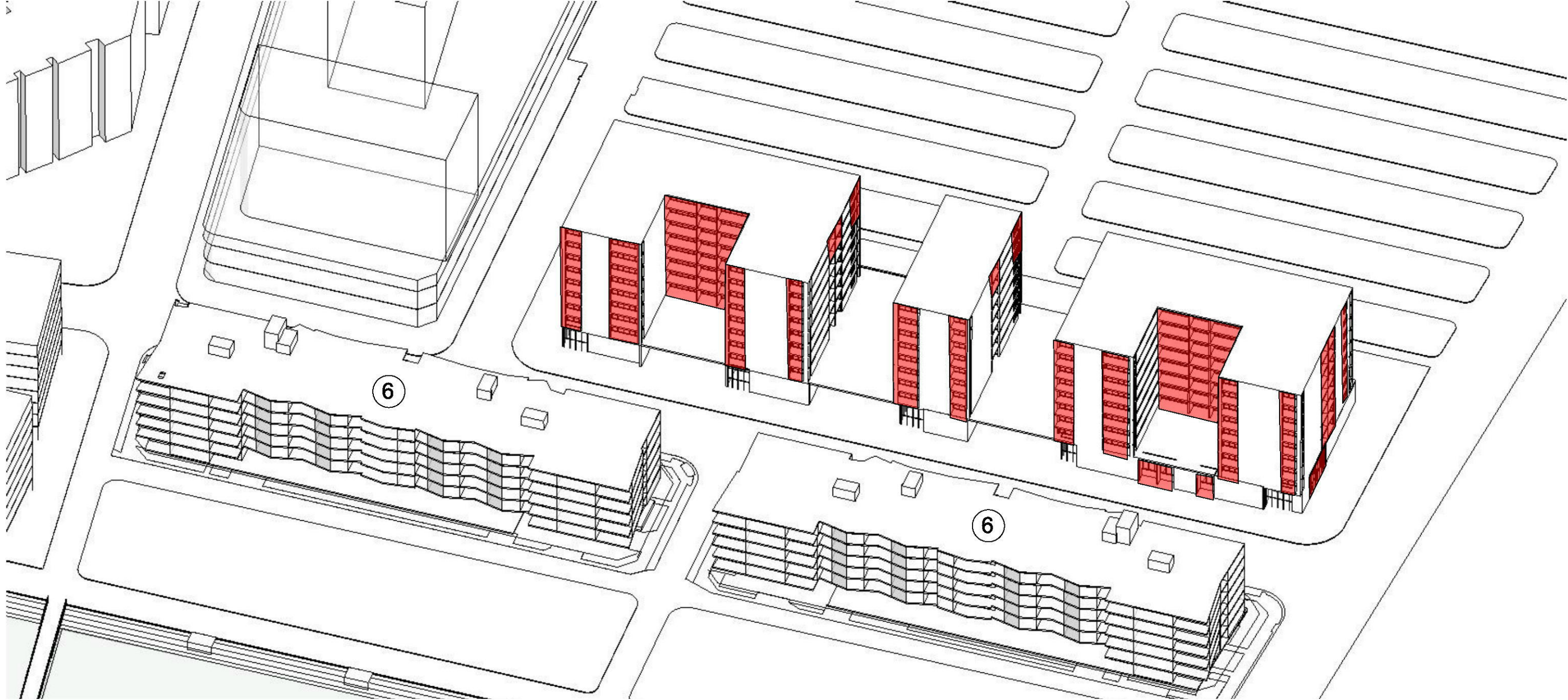
Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

March 2019  
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GA Plans\_ Lot 210  
Livable Housing Units

Drawing Number **DA208**  
Revision **A**

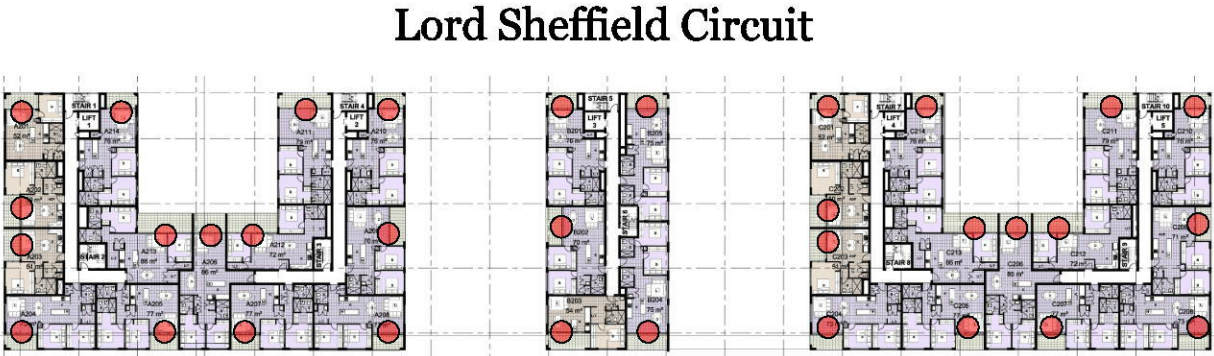
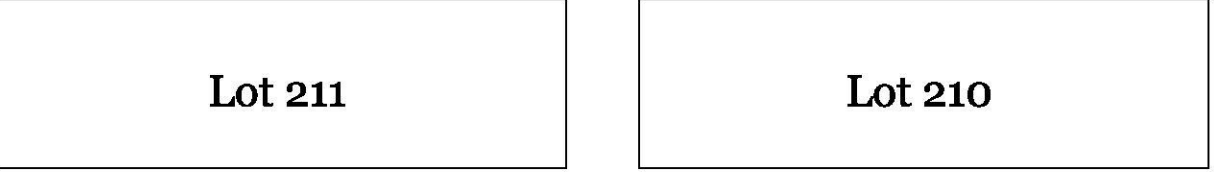
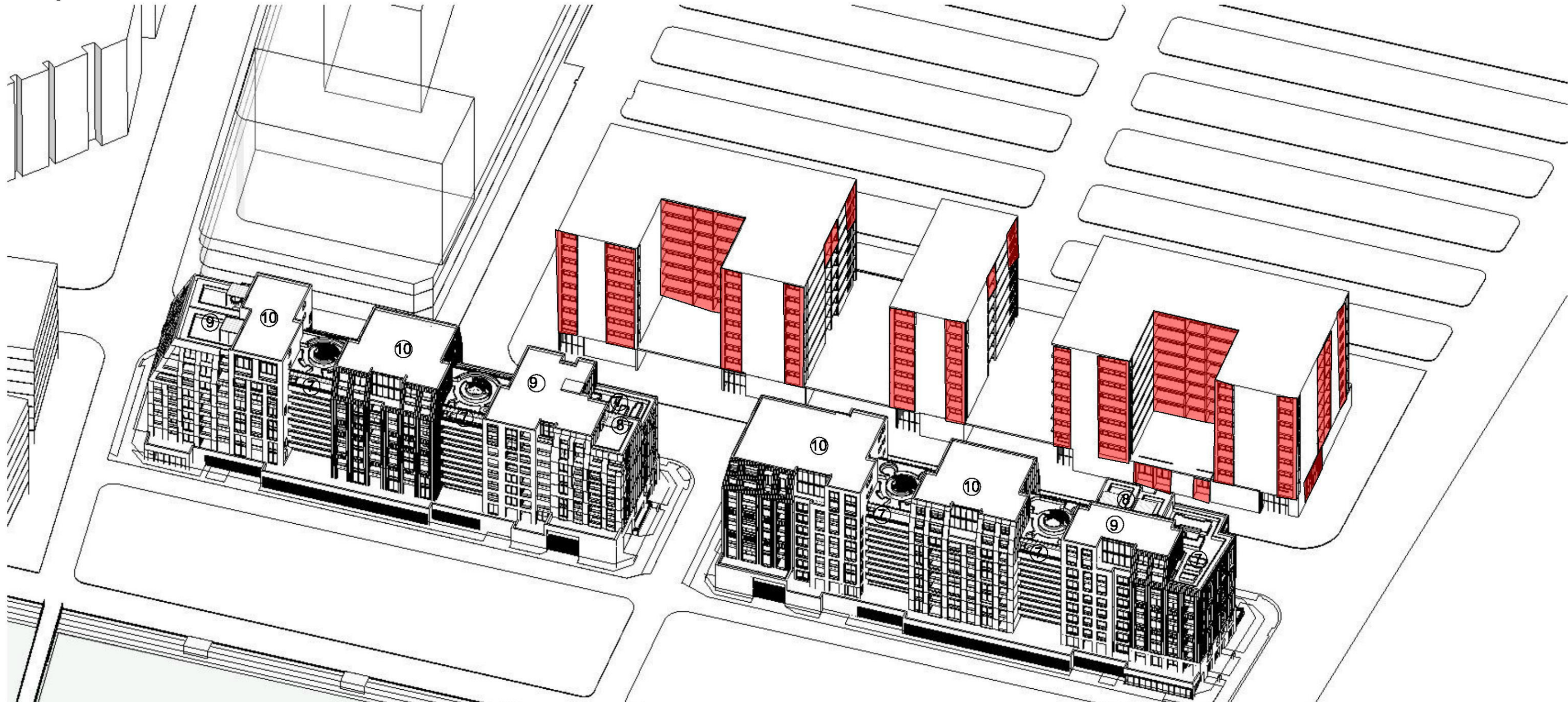
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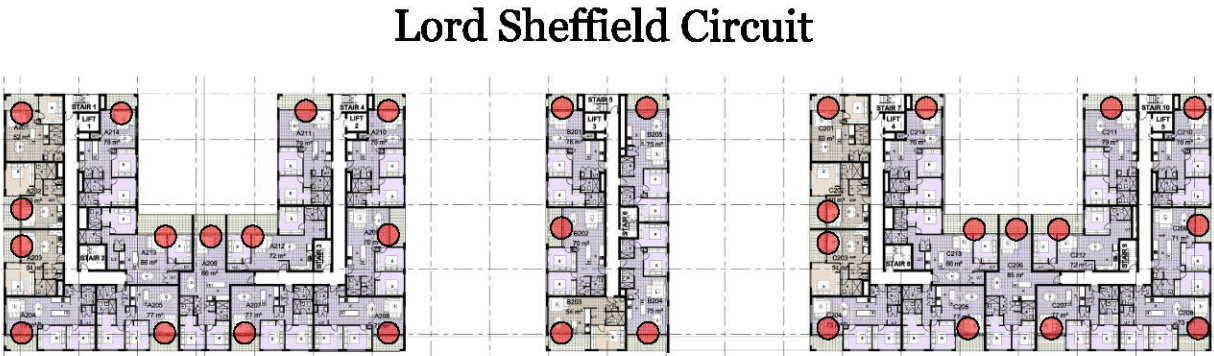
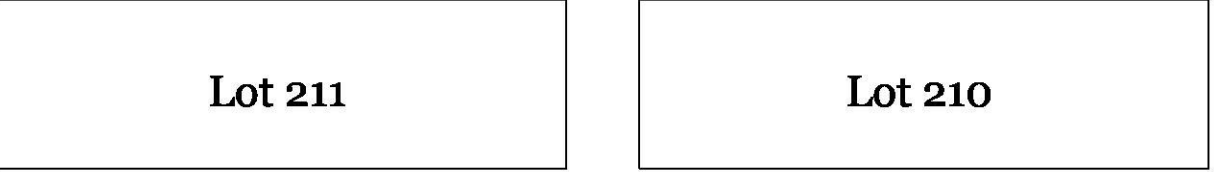
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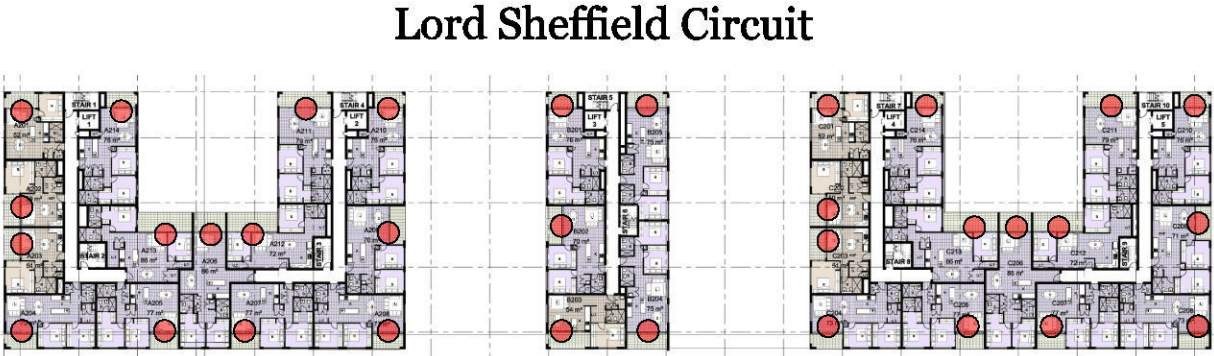
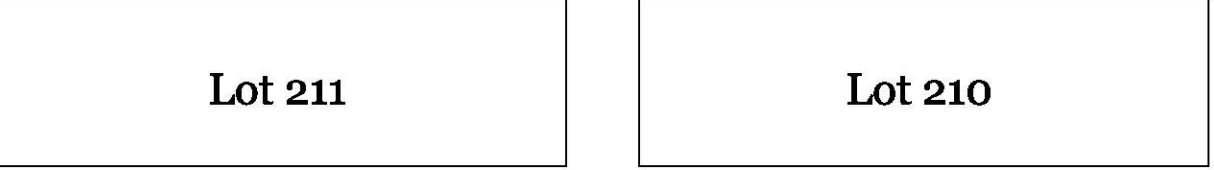
Proposal



39 Lord Sheffield Circuit, Penrith:  
Total : 268 units  
2hrs solar: 168 units(62.6%)  
Unit over 2hrs solar



39 Lord Sheffield Circuit, Penrith:  
Total : 268 units  
2hrs solar: 150 units(55.9%)  
Unit over 2hrs solar



39 Lord Sheffield Circuit, Penrith:  
Total : 268 units  
2hrs solar: 168 units(62.6%)  
Unit over 2hrs solar

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Rev. Date By Ckd Description  
A 20/03/2019 MJ SO Issue for Submission

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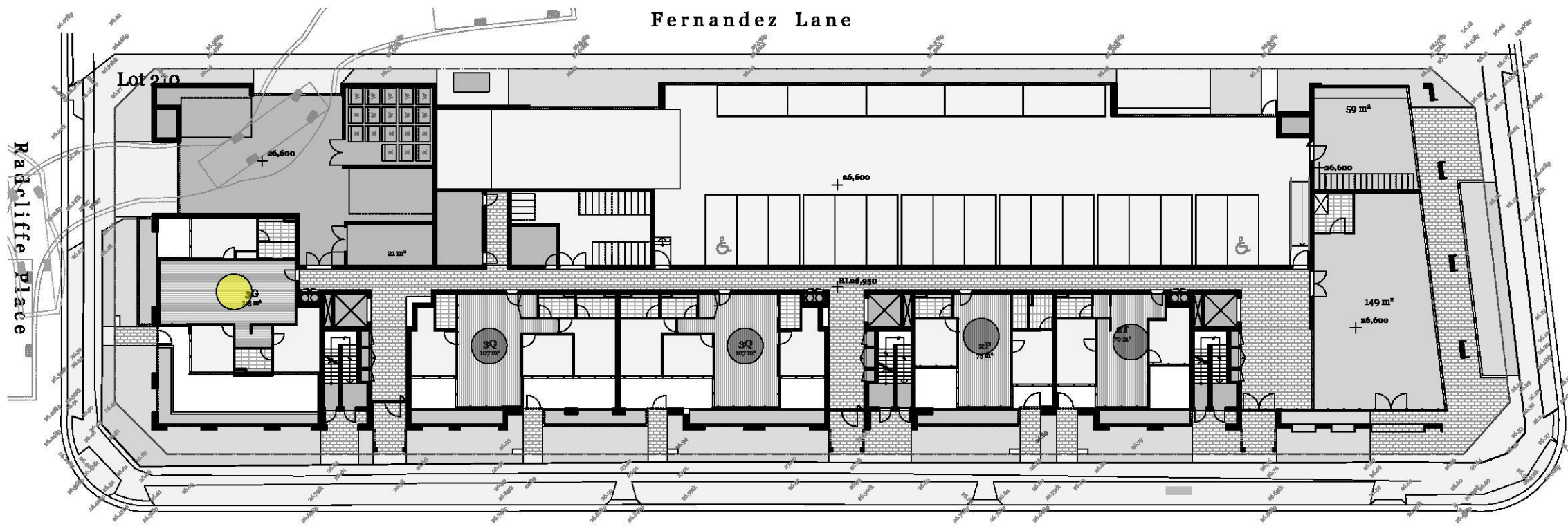
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Date  
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March 2019  
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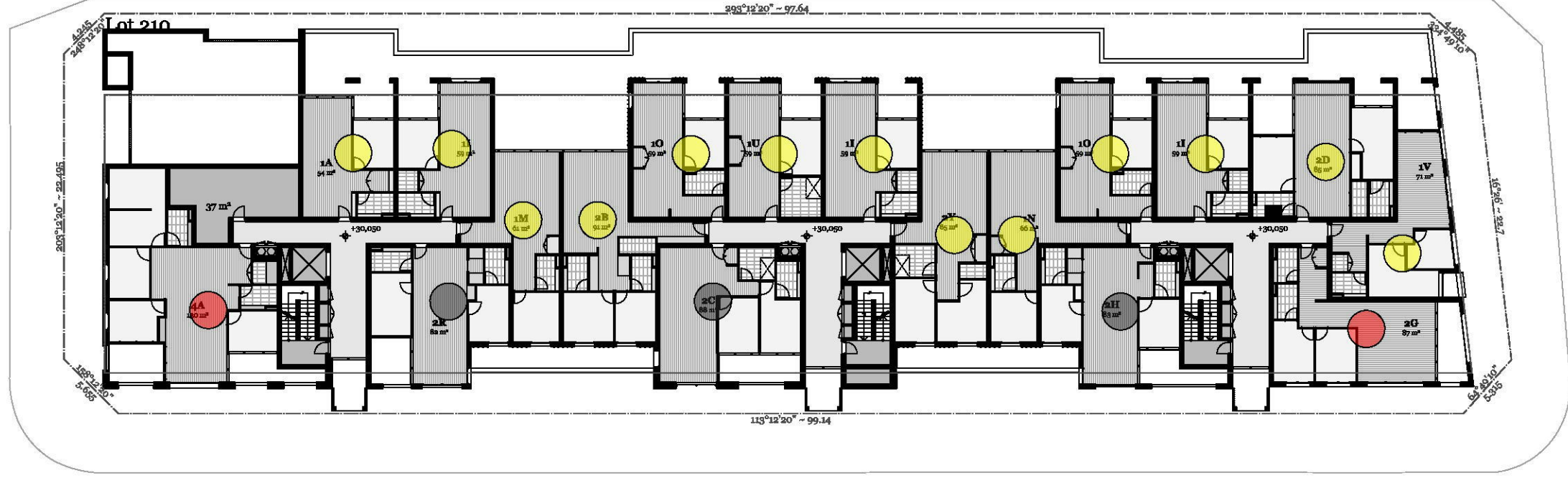
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Drawing Name

Shadow & Solar Analysis  
Solar Access Calculations to Lot  
3105 Lord Sheffield Circuit

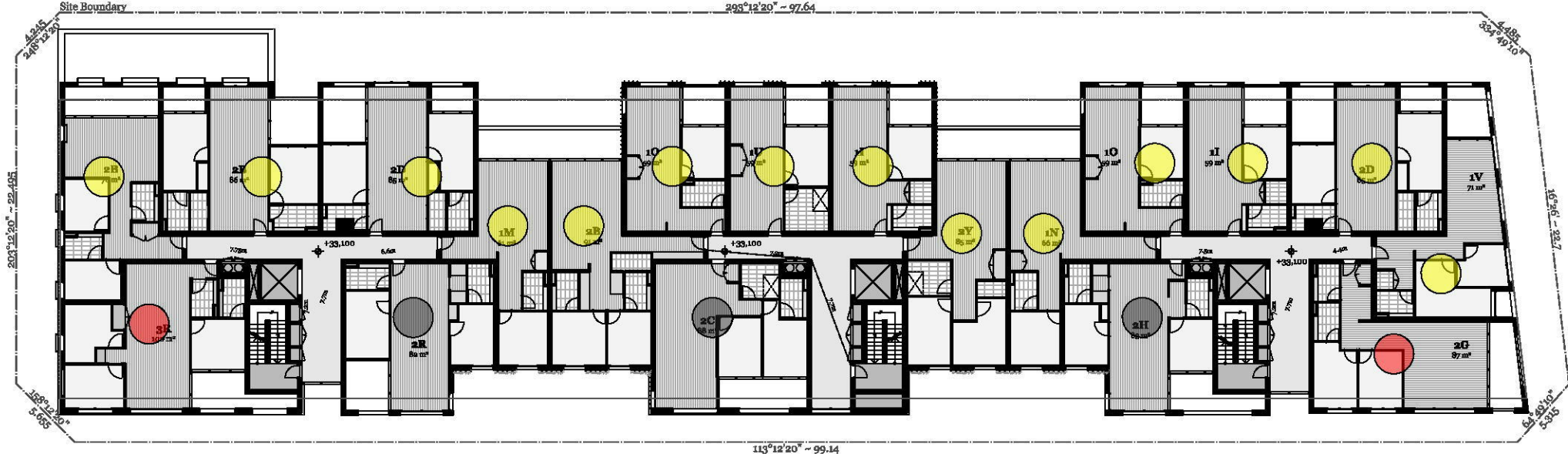
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Revision **A**



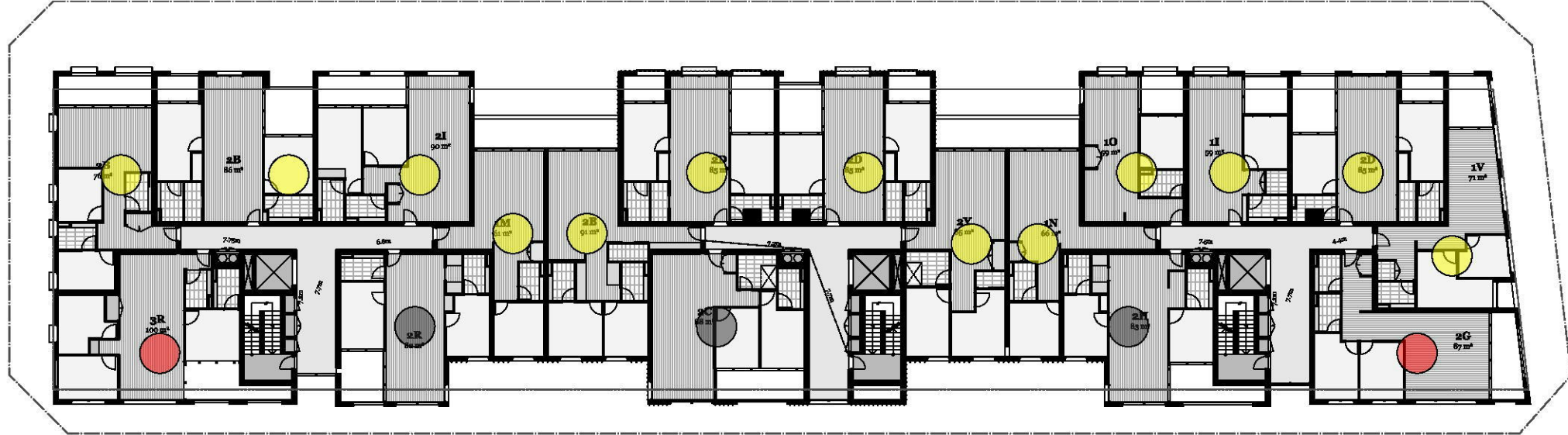
Ground Floor



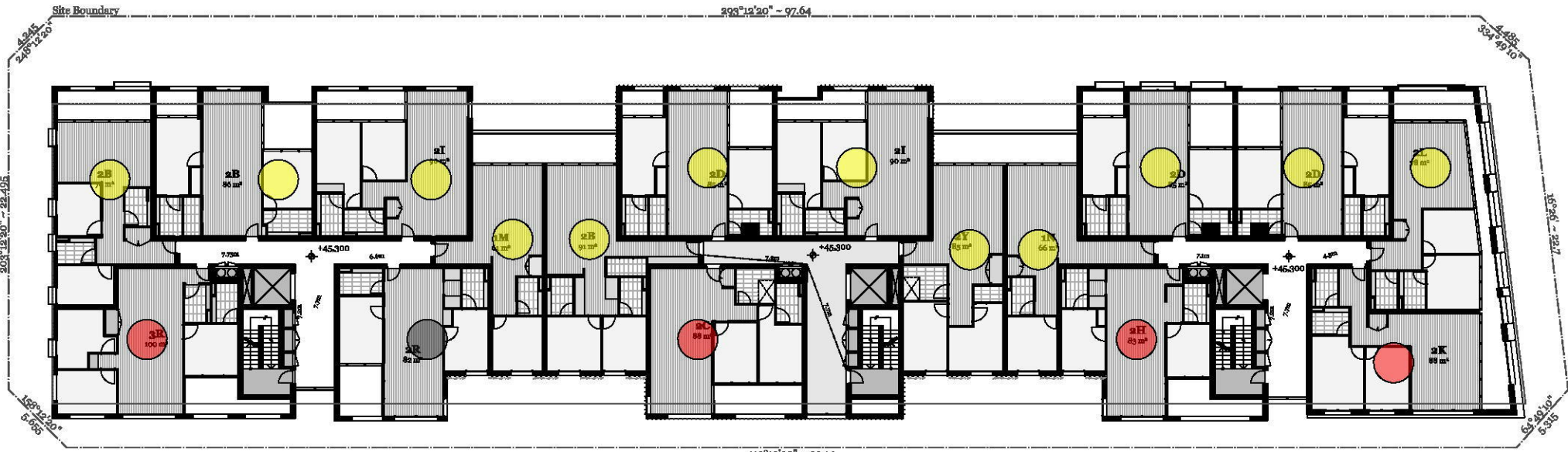
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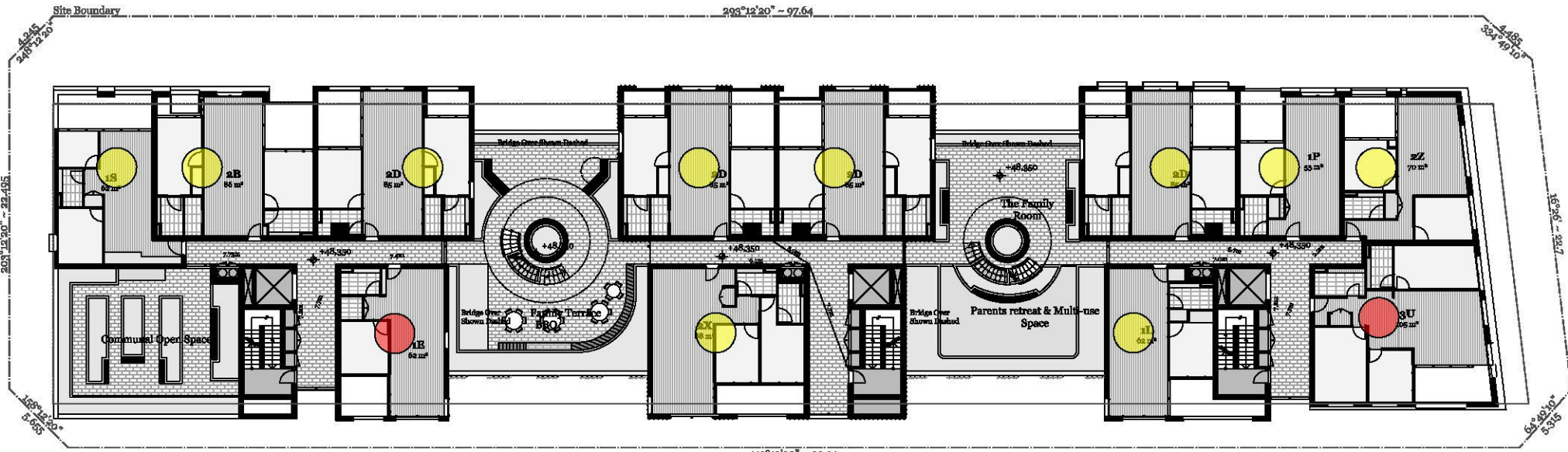
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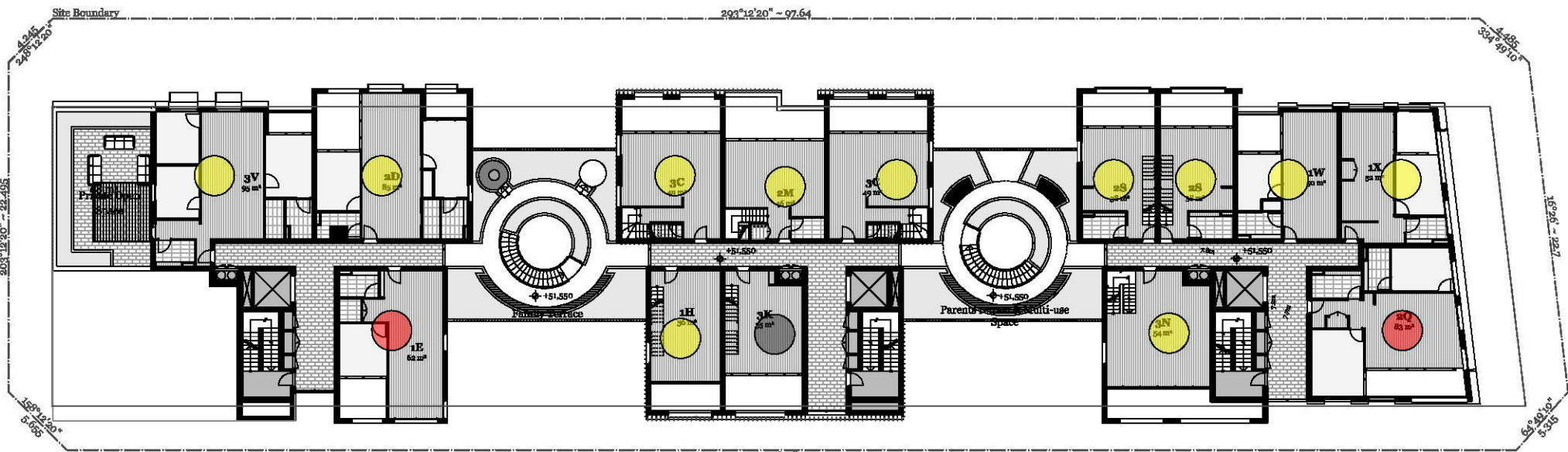
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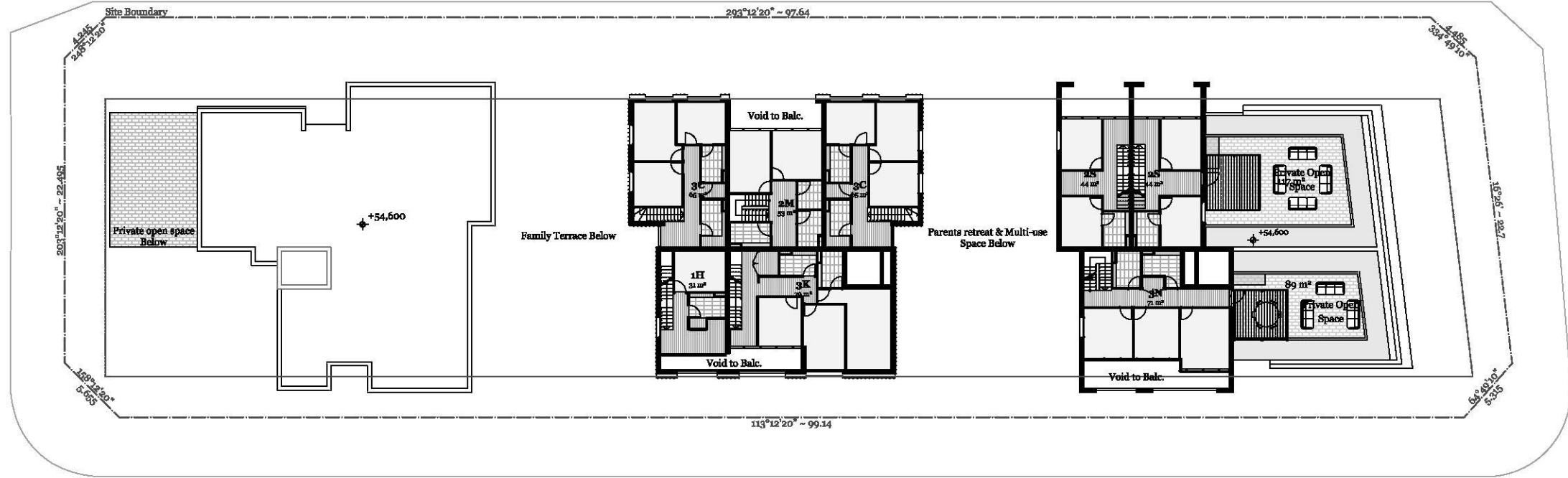
Level 6



Level 7



Level 8



Lord Sheffield Circuit  
Level 9

- 2+ HR SOLAR ACCESS
- <2 HR SOLAR ACCESS
- 0 HR SOLAR ACCESS

SOLAR ACCESS CALCULATION

Ground Floor	1/5
Level 01	13/18
Level 02-04	(14/19)x3
Level 05	13/18
Level 06	12/17
Level 07	10/12
Level 08	11/14
Total	102/141 (72%)

NO SOLAR ACCESS CALCULATION

Ground Floor	4/5
Level 01	3/18
Level 02-04	(3/19)x3
Level 05	3/18
Level 06	1/17
Level 07	0/12
Level 08	1/14
Total	21/141 (15%)

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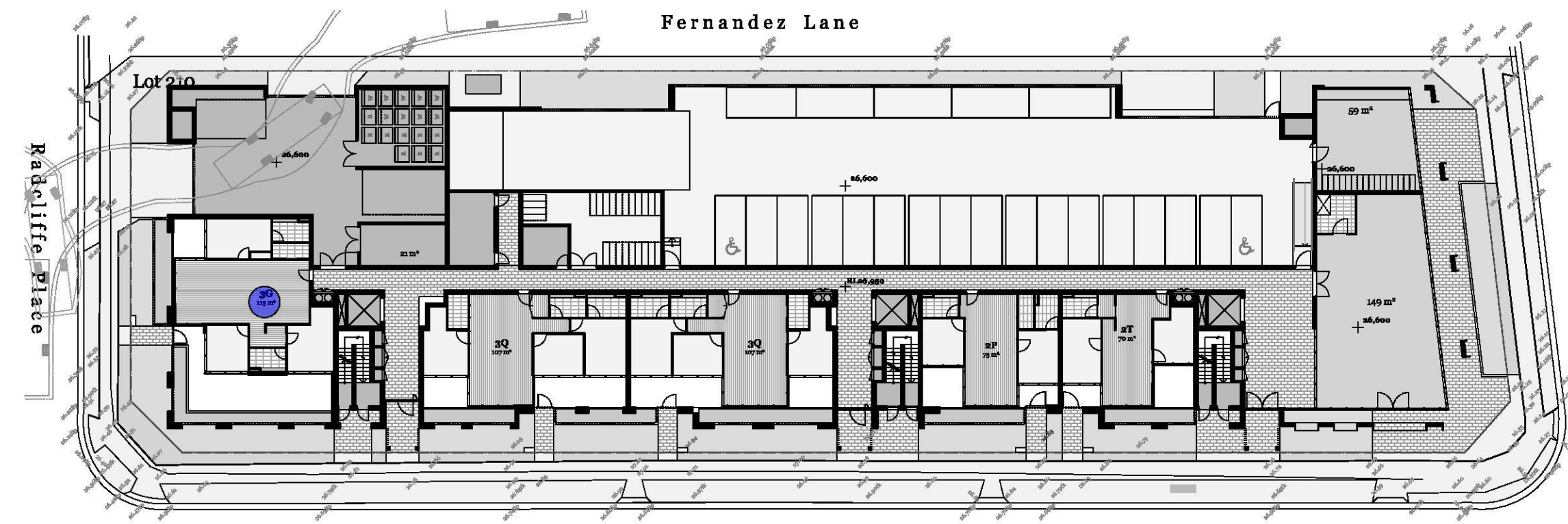
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Date  
Scale

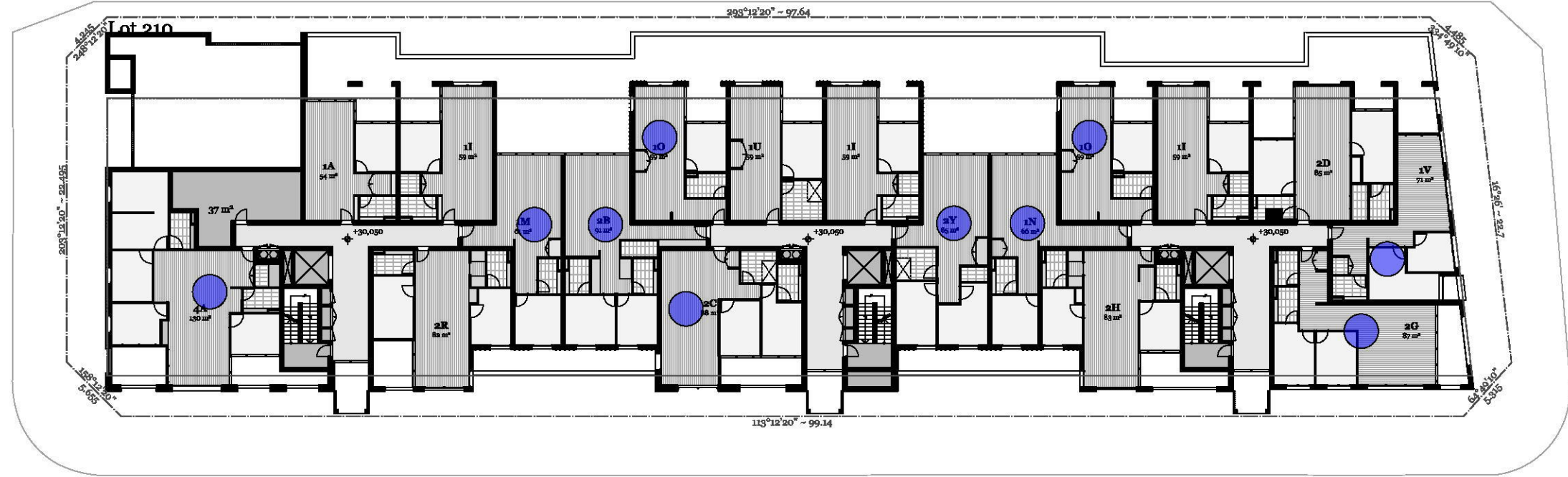
March 2019  
1:400 @ A1

Drawing Series  
Drawing Name  
Calculations  
Solar Compliance - Lot 210

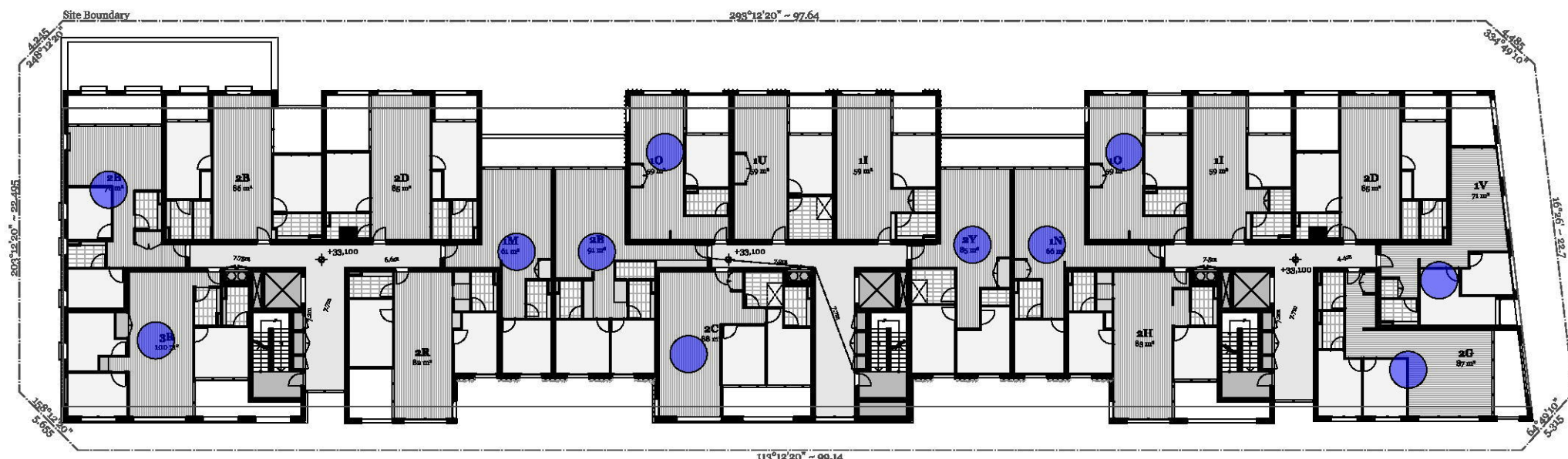
Drawing Number  
Revision  
DA600  
A



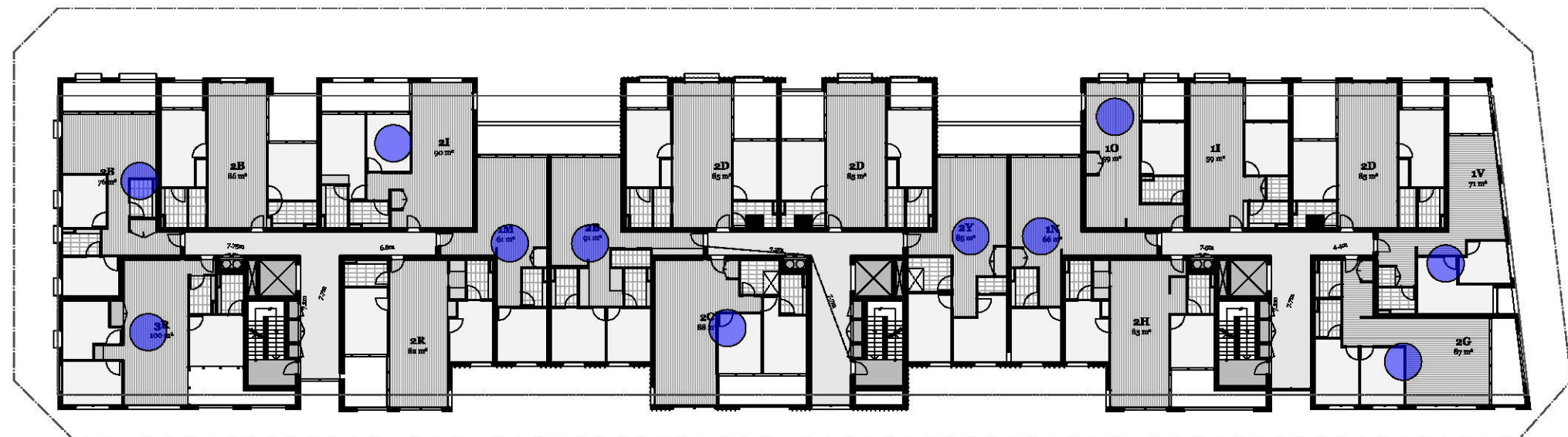
Ground Floor



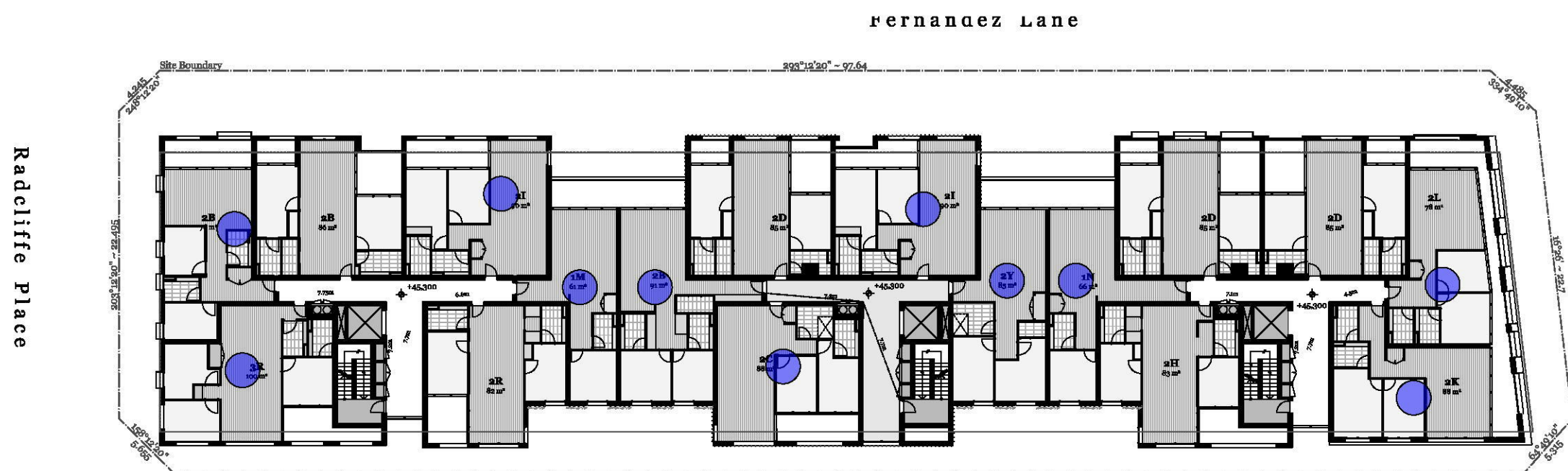
Level 1



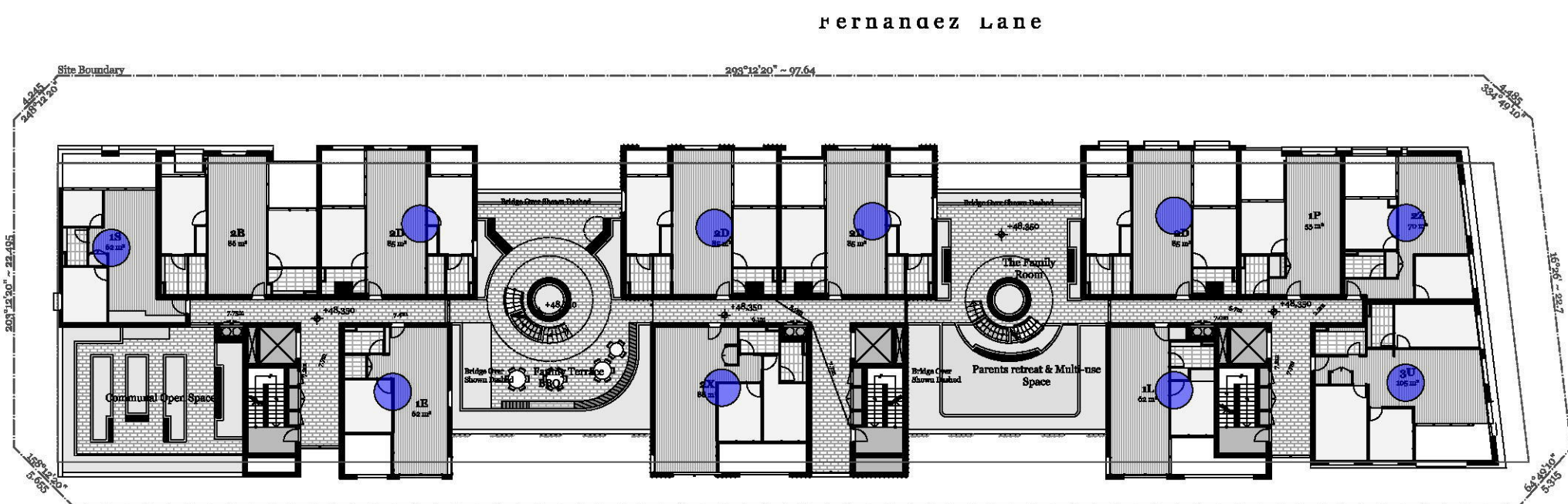
Level 2-4



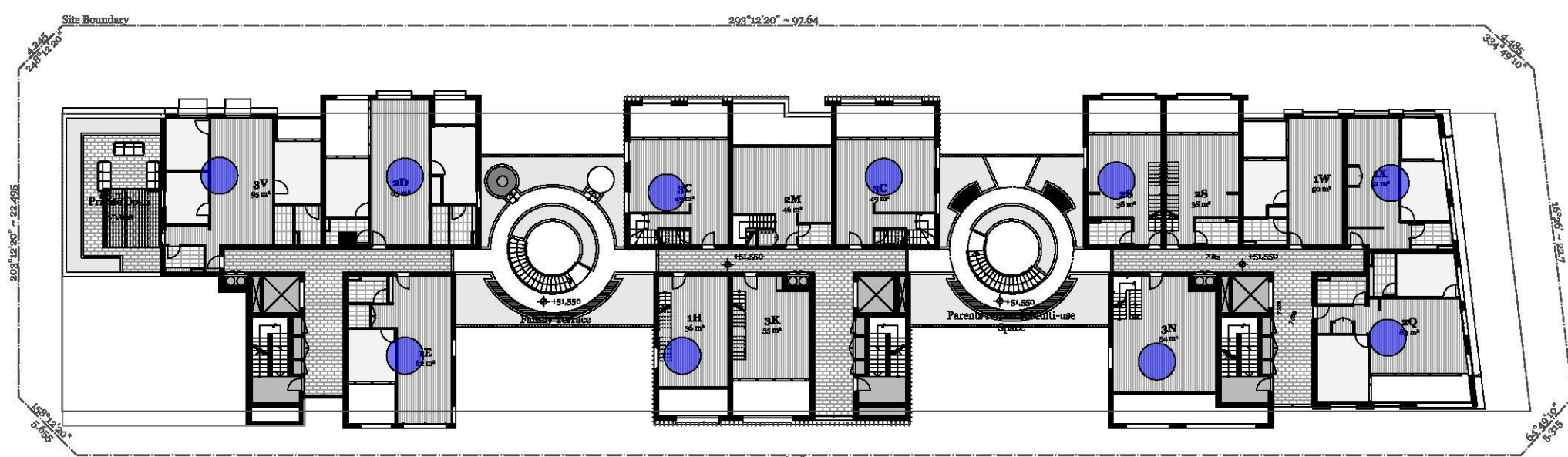
Level 5



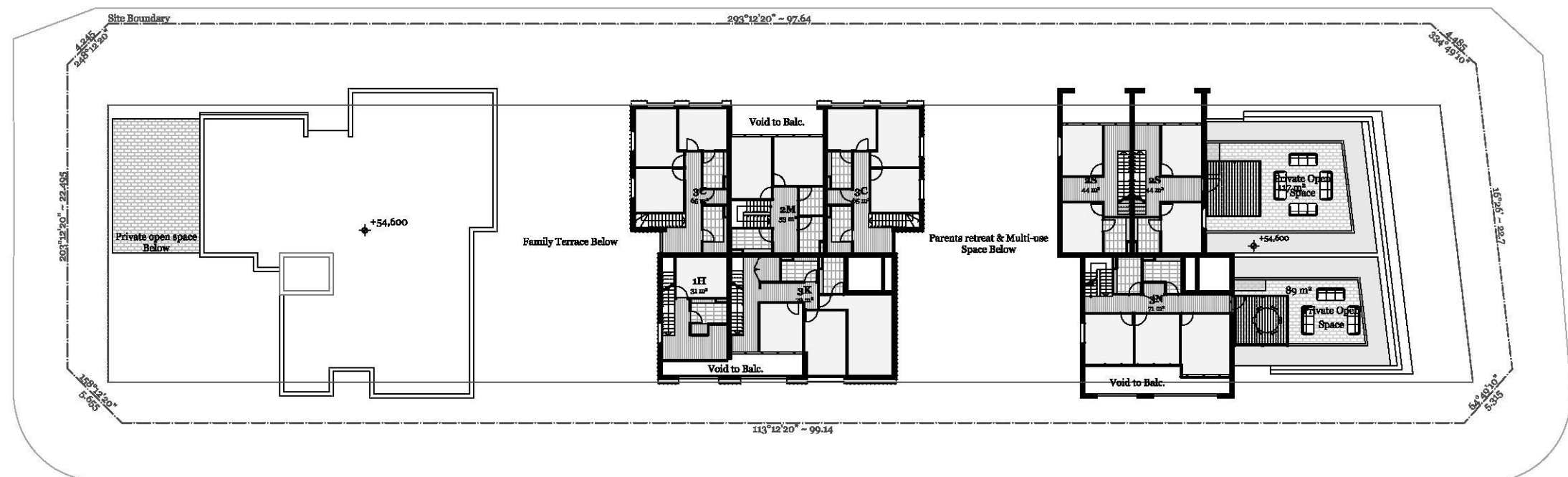
Level 6



Level 7



Level 8



Lord Sheffield Circuit  
Mezzanine

● NATURALLY CROSS-VENTILATED UNITS

CROSS VENTILATION CALCULATION

Ground Floor	1/5
Level 01	10/18
Level 02-04	(11/19)x3
Level 05	11/18
Level 06	11/17
Level 07	10/12
Level 08	10/14
Total	86/141 (61%)

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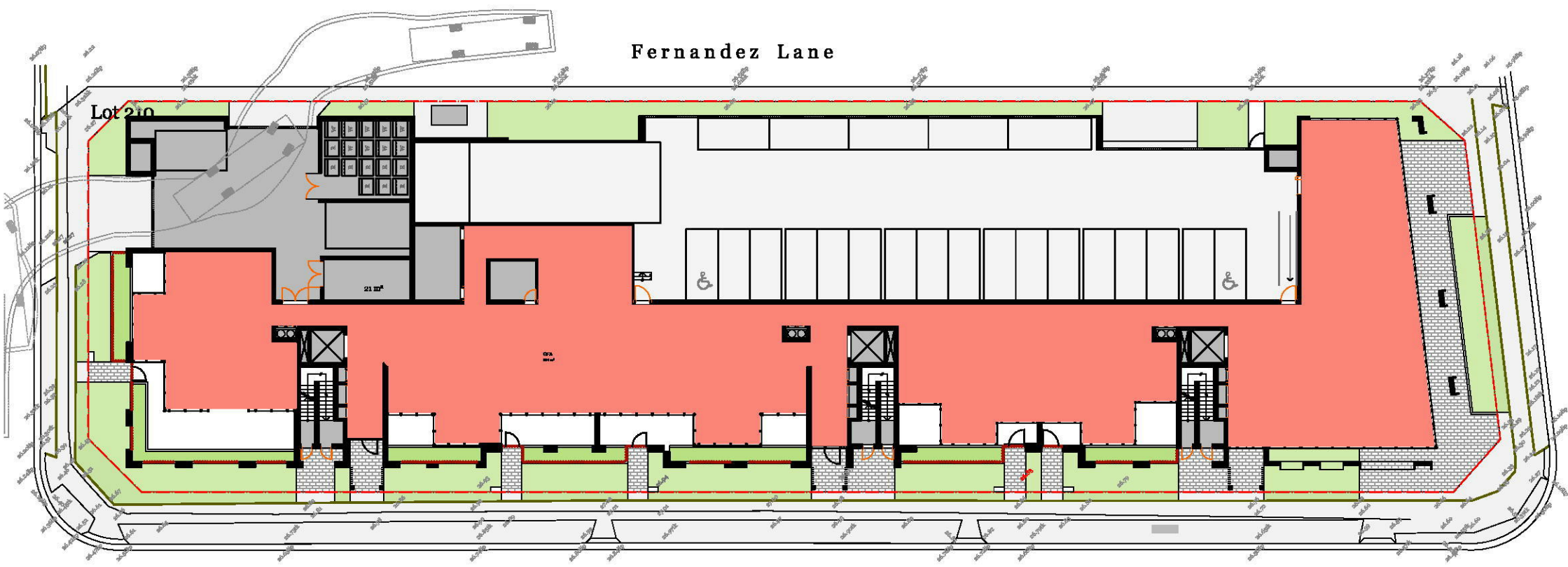
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Project Name  
Project Number  
Project Address  
Lot 210 & 211 Lord Sheffield  
Circuit,  
Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale  
March 2019  
1:400 @ A1

Drawing Series  
Drawing Name  
Calculations  
Cross Ventilation - Lot 210

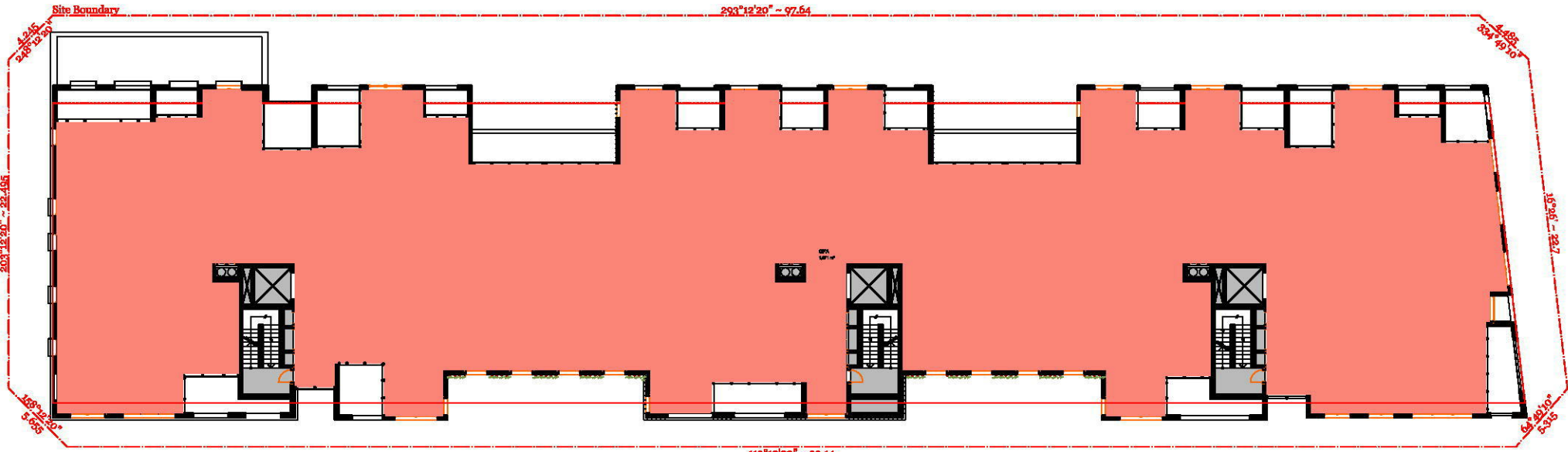
Drawing Number  
Revision  
DA601  
A



Ground Floor

1:400

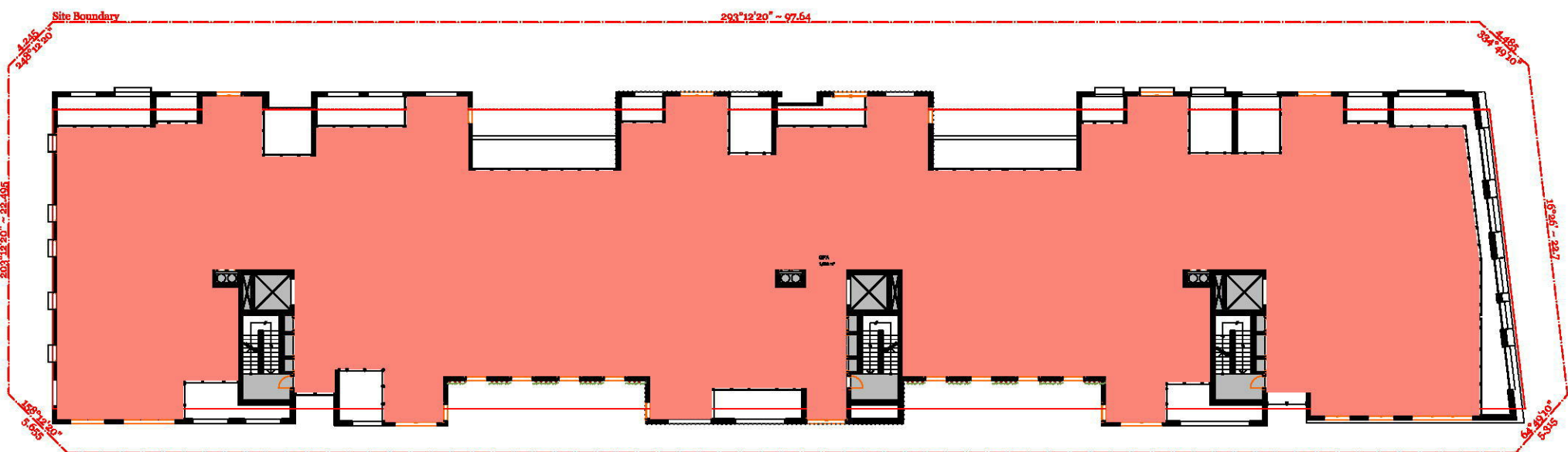
Ground Floor GFA : 994 sqm



Level 2-4

1:400

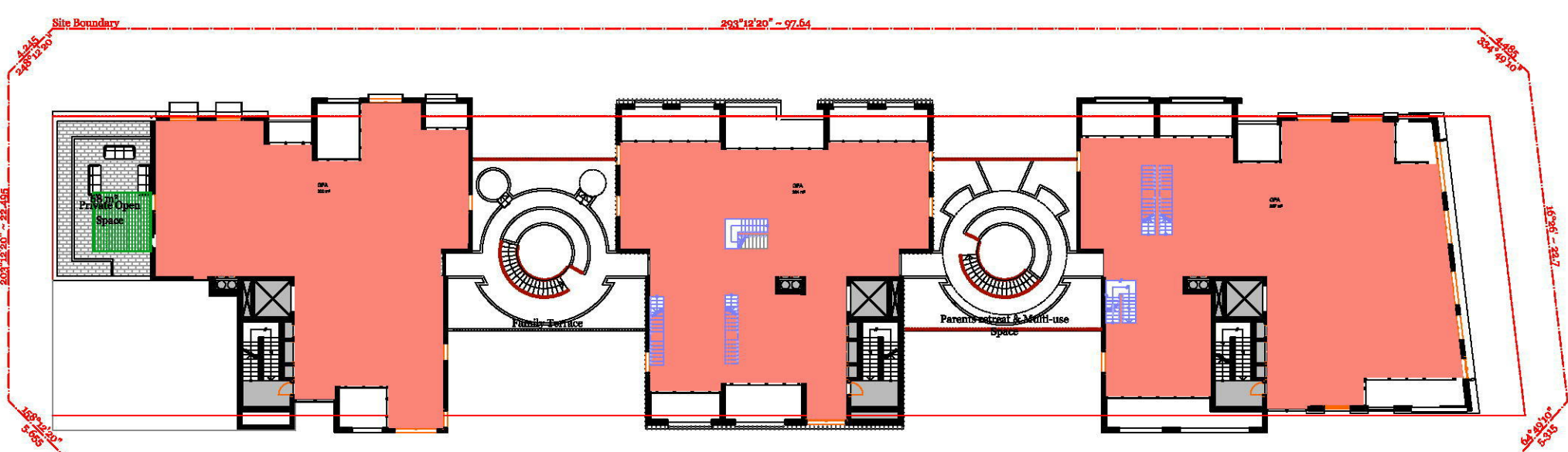
Level 2-4 GFA : 1671 sqm \*3



Level 6

1:400

Level 6 GFA : 1639 sqm

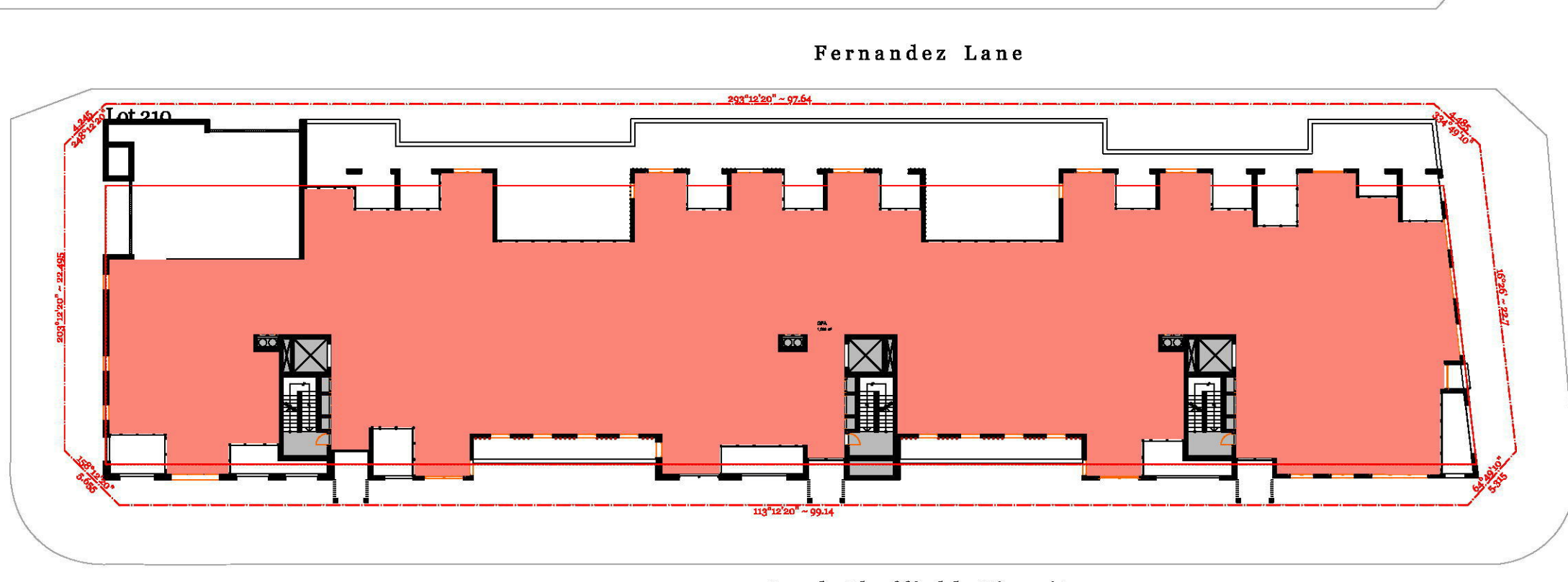


Level 8

1:400

Level 8 GFA : 971 sqm

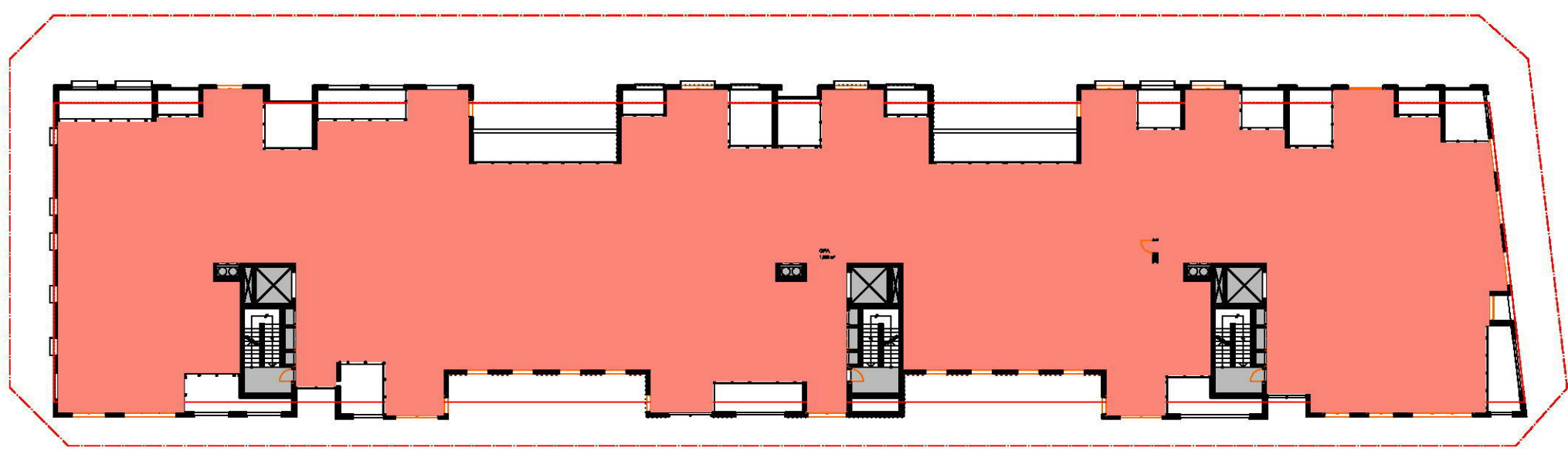
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Level 1

1:400

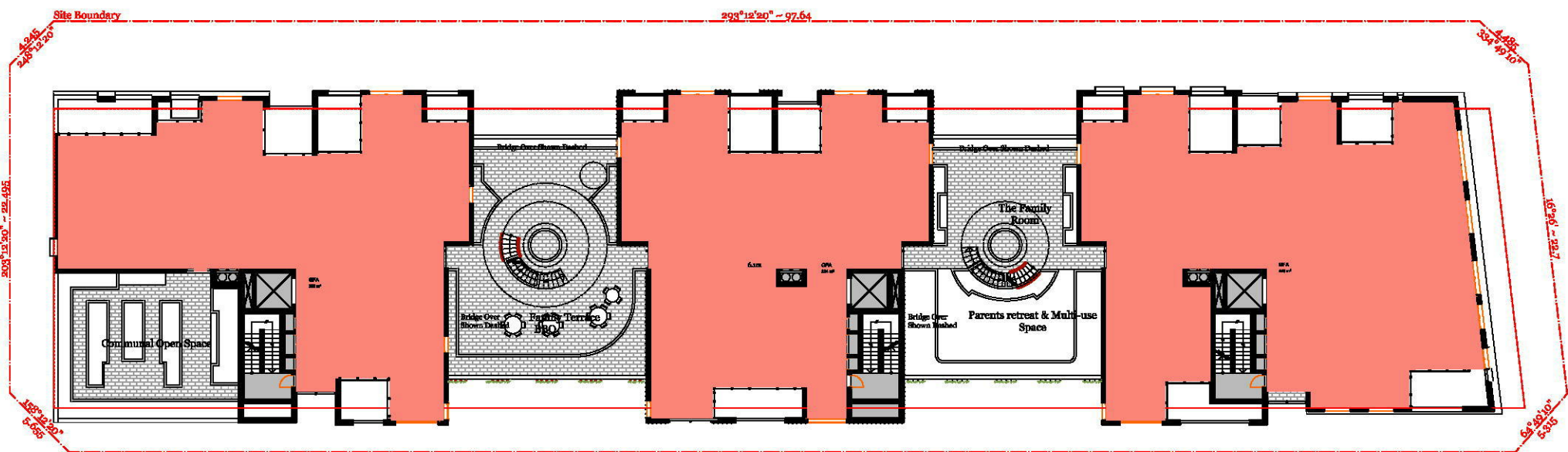
Level 1 GFA : 1599 sqm



Level 5

1:400

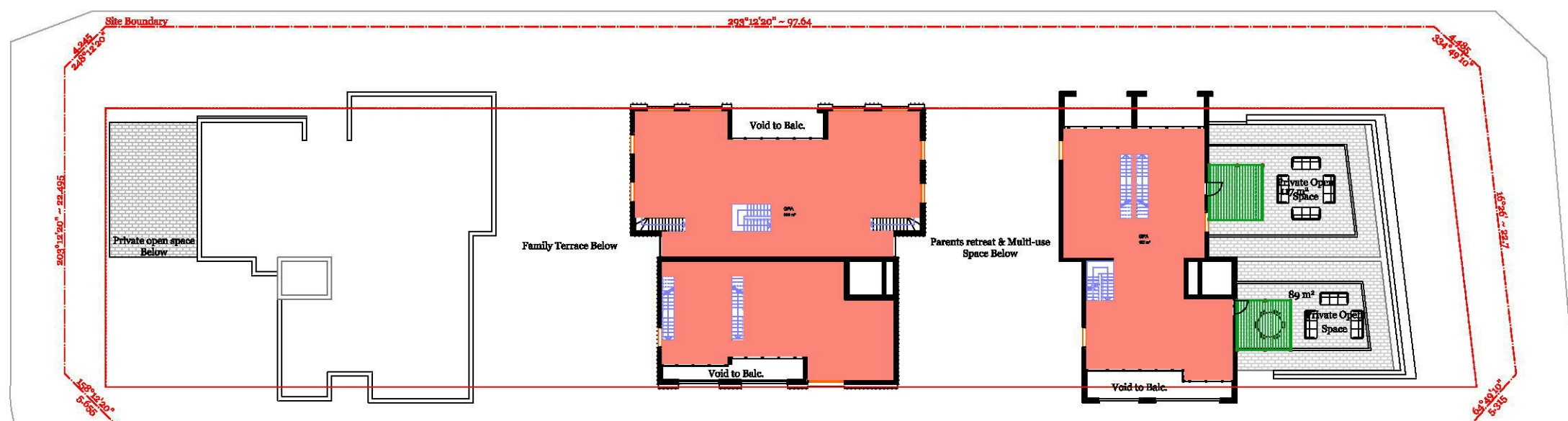
Level 5 GFA : 1665 sqm



Level 7

1:400

Level 7 GFA : 1126 sqm



Mezzanine

1:400

Mezz level GFA : 468 sqm

9.

GFA	
Ground Floor GFA :	994 sqm
Level 1 GFA :	1599 sqm
Level 2-4 GFA :	1671 sqm *3
Level 5 GFA :	1665 sqm
Level 6 GFA :	1639 sqm
Level 7 GFA :	1126 sqm
Level 8 GFA :	971 sqm
Mezz level GFA :	468 sqm
Total GFA :	13475 sqm

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Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
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Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale

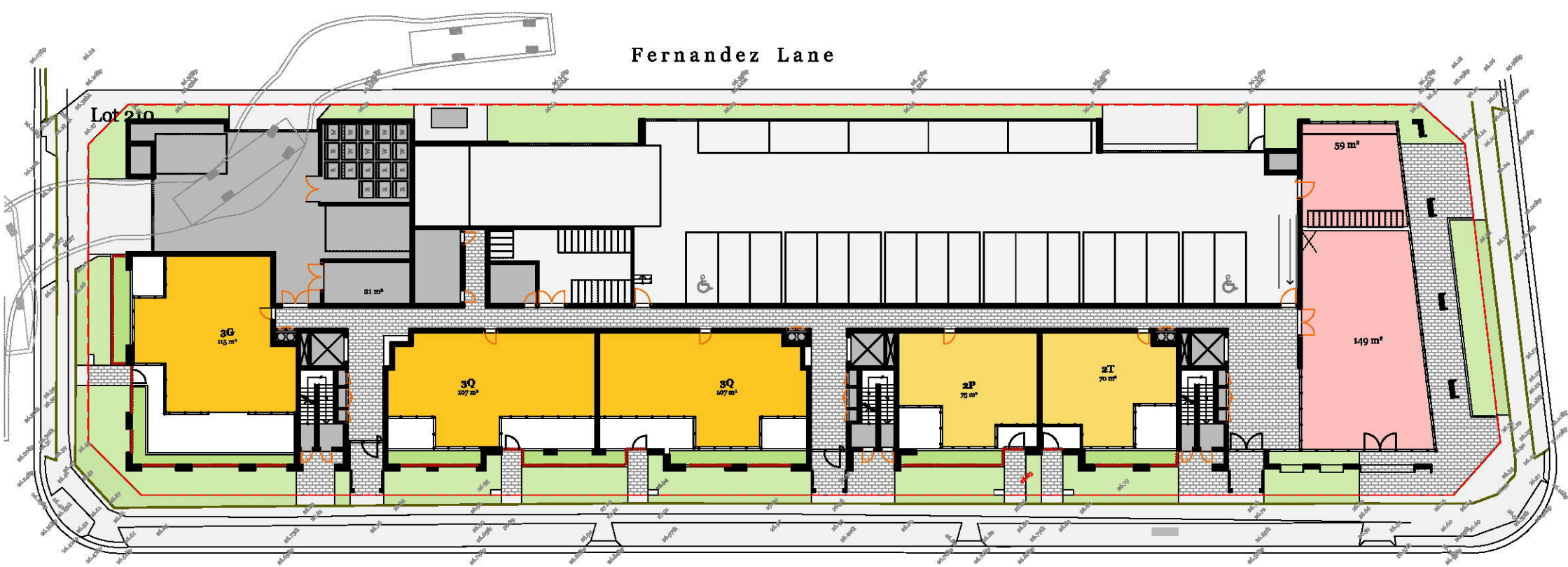
March 2019  
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Drawing Series  
Drawing Name

Calculations  
GFA Calculation - Lot 210

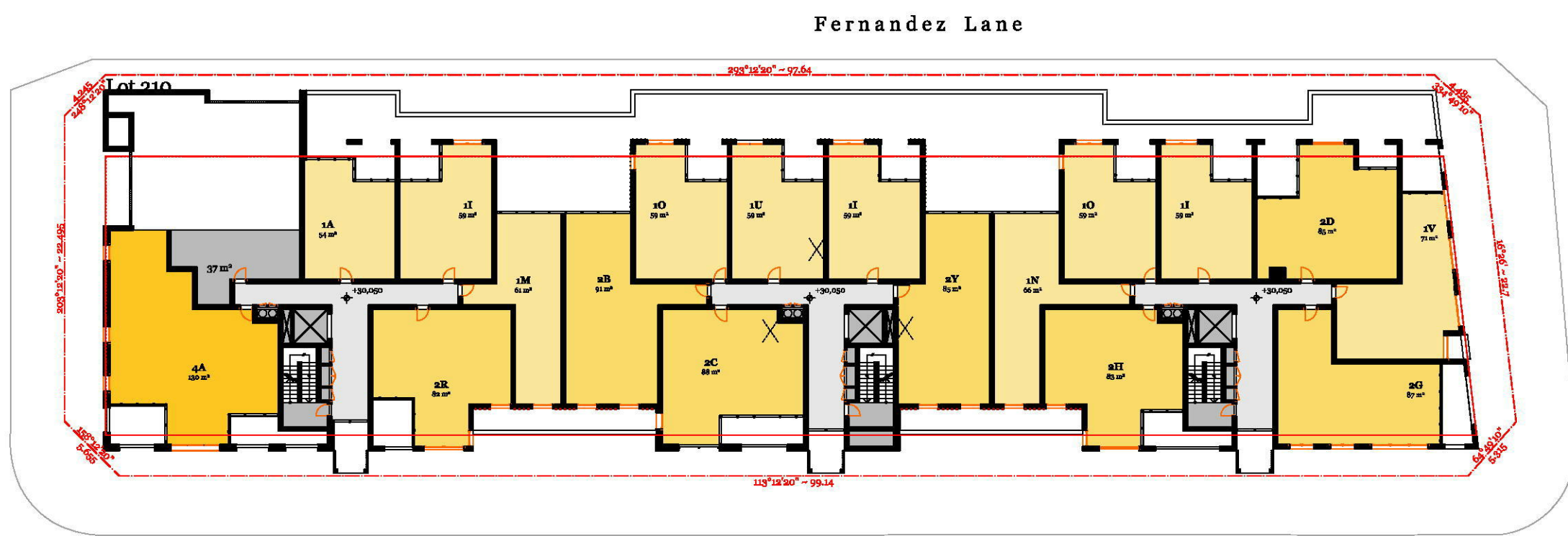
Drawing Number  
Revision

DA602  
A



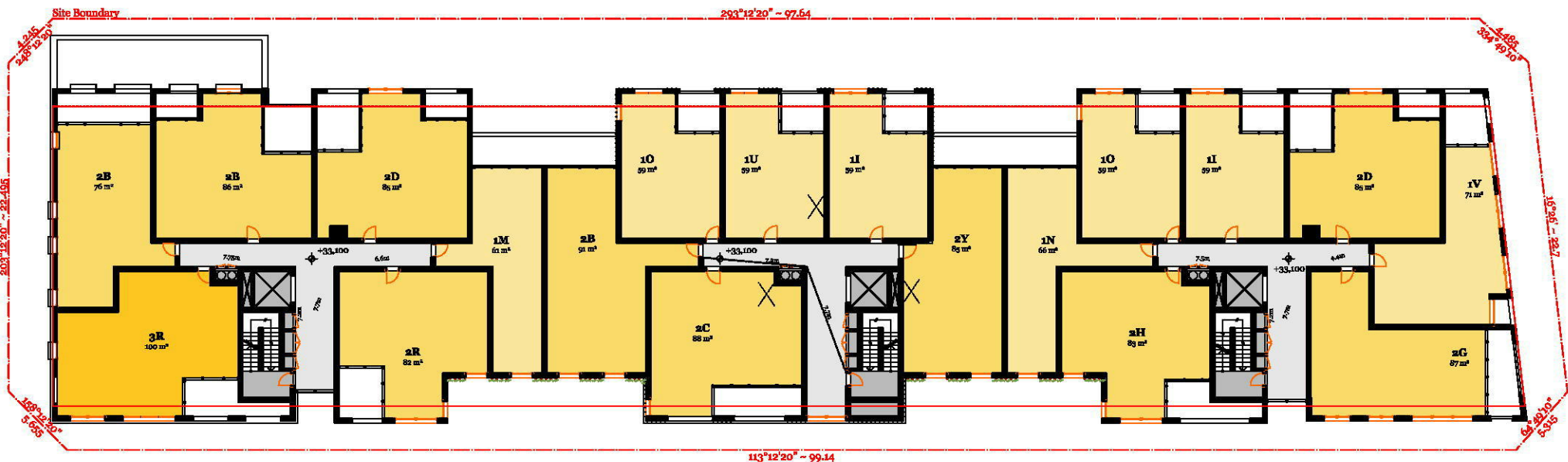
Ground Floor

1:400



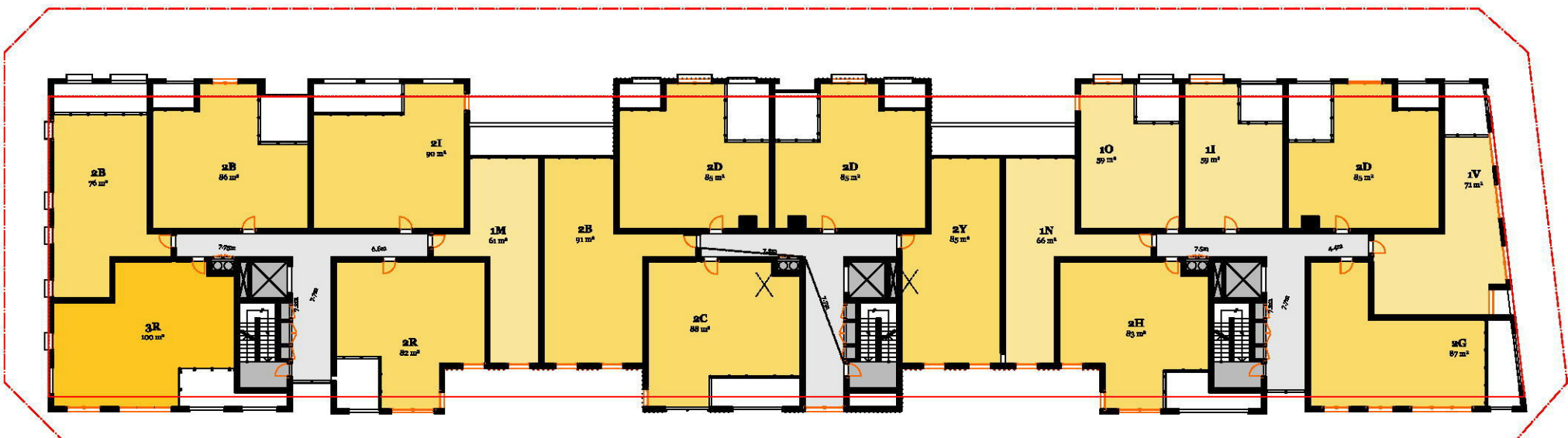
Level 1

1:400



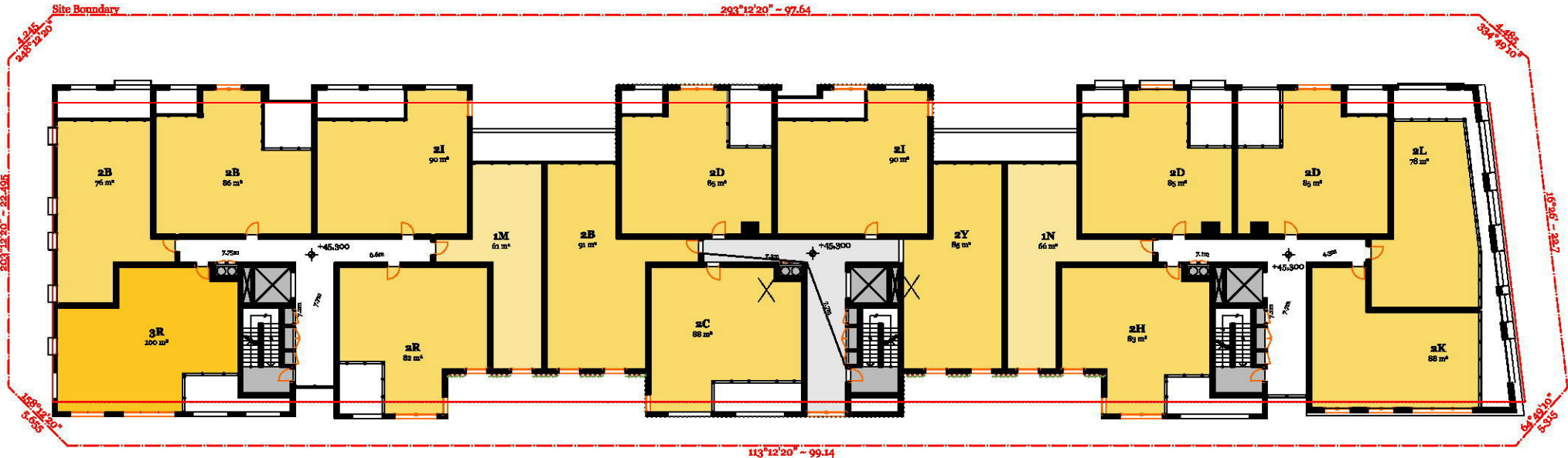
Level 2-4

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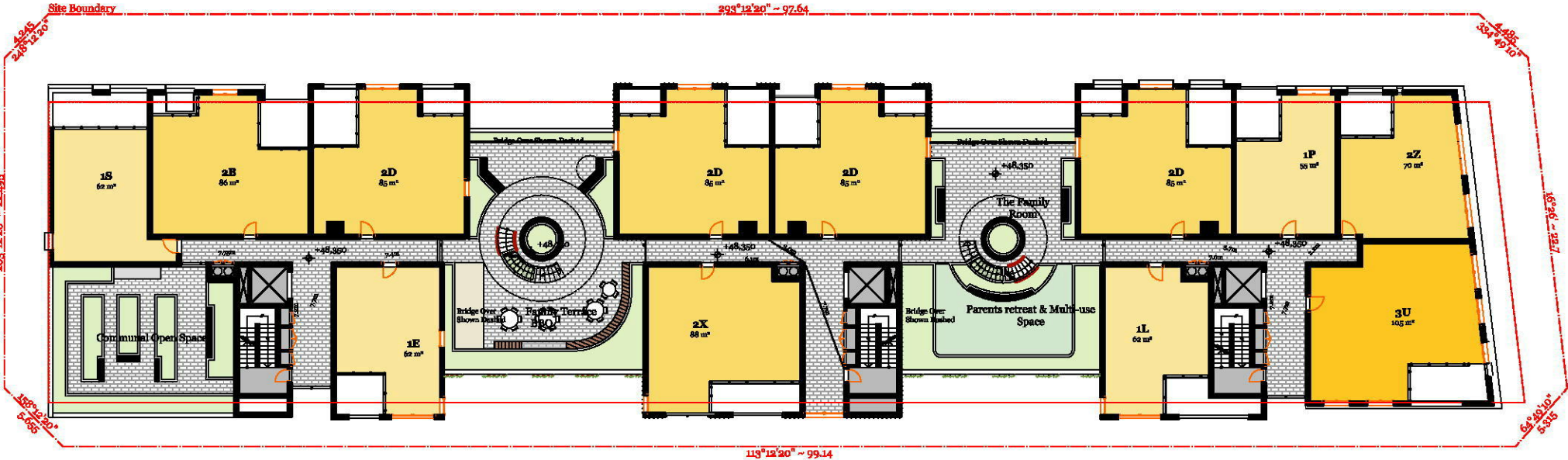
Level 5

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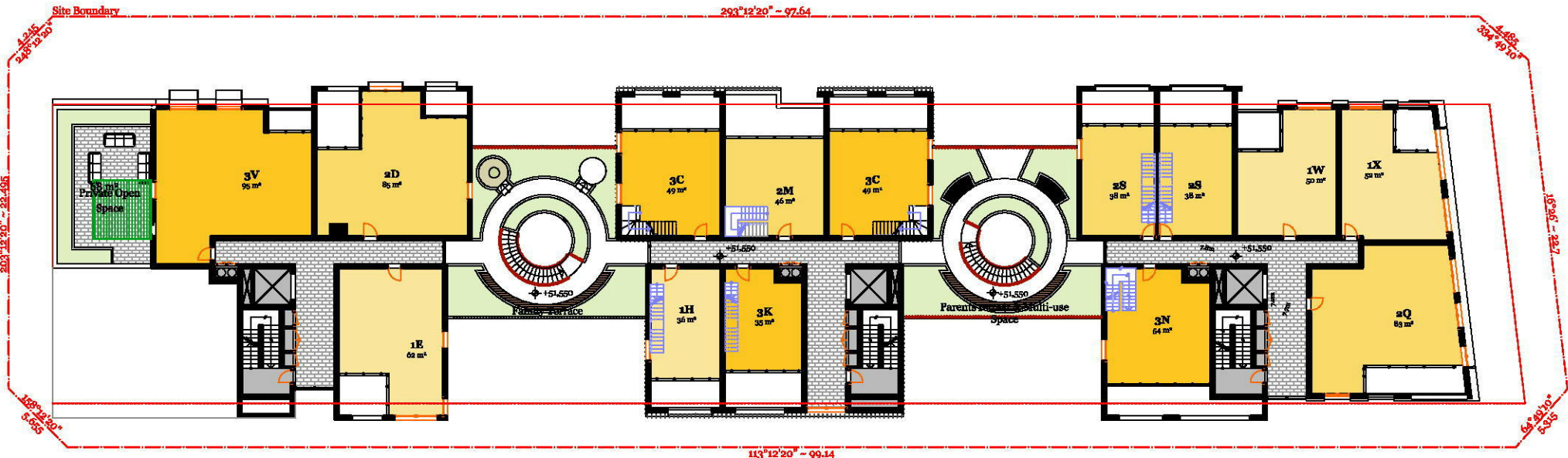
Level 6

1:400



Level 7

1:400



Level 8

1:400

UNIT MIX

1 BEDROOM

49/141=35%

2 BEDROOM

79/141=55%

3 BEDROOM

14/141=9%

4 BEDROOM

1/141=1%

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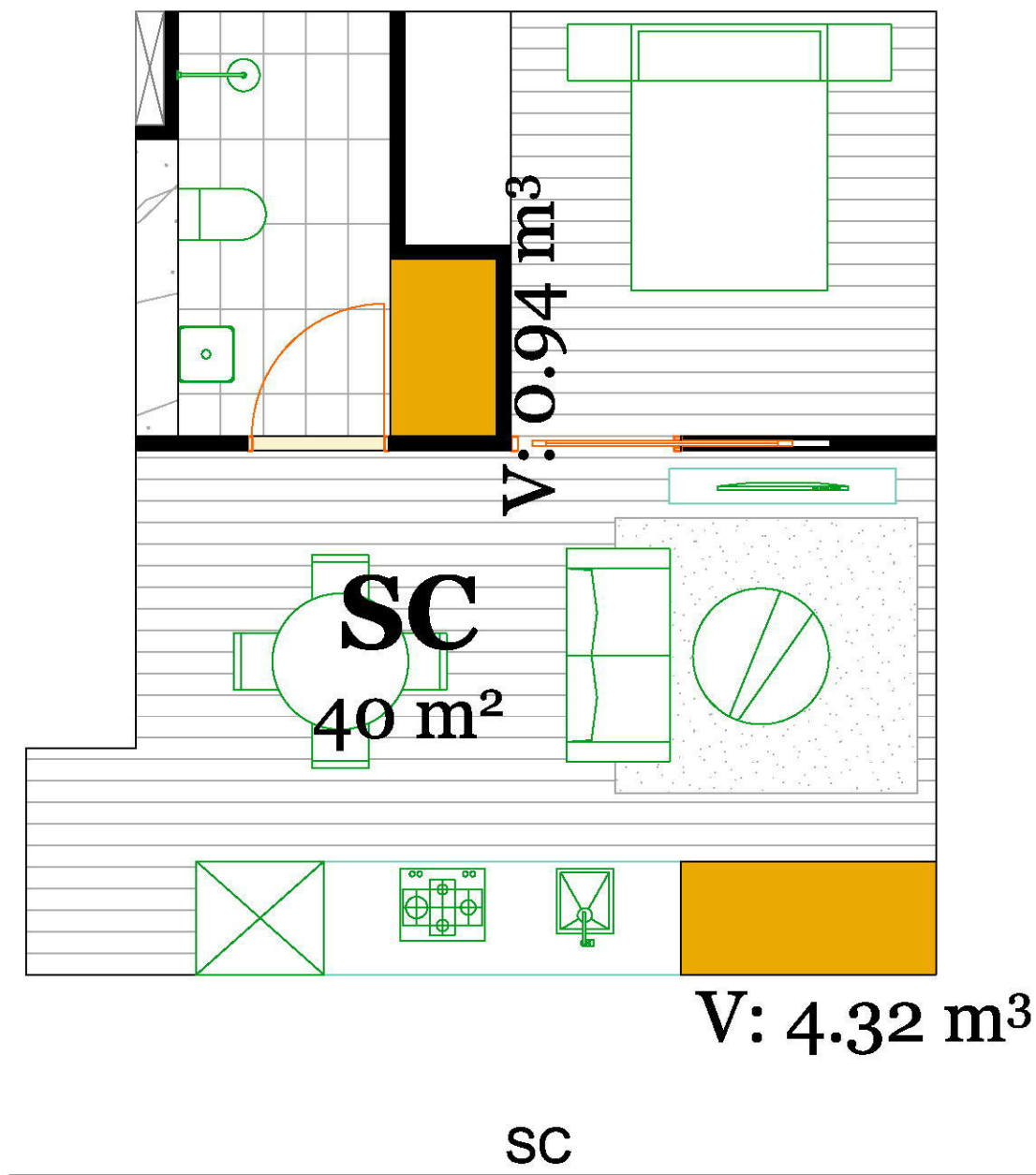
Project Name  
Project Number  
Project Address  
Lord Sheffield Circuit Penrith  
12116  
Lot 210&211 Lord Sheffield  
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Penrith, NSW 2075

Drawn By  
Checked By  
Date  
Scale

March 2019  
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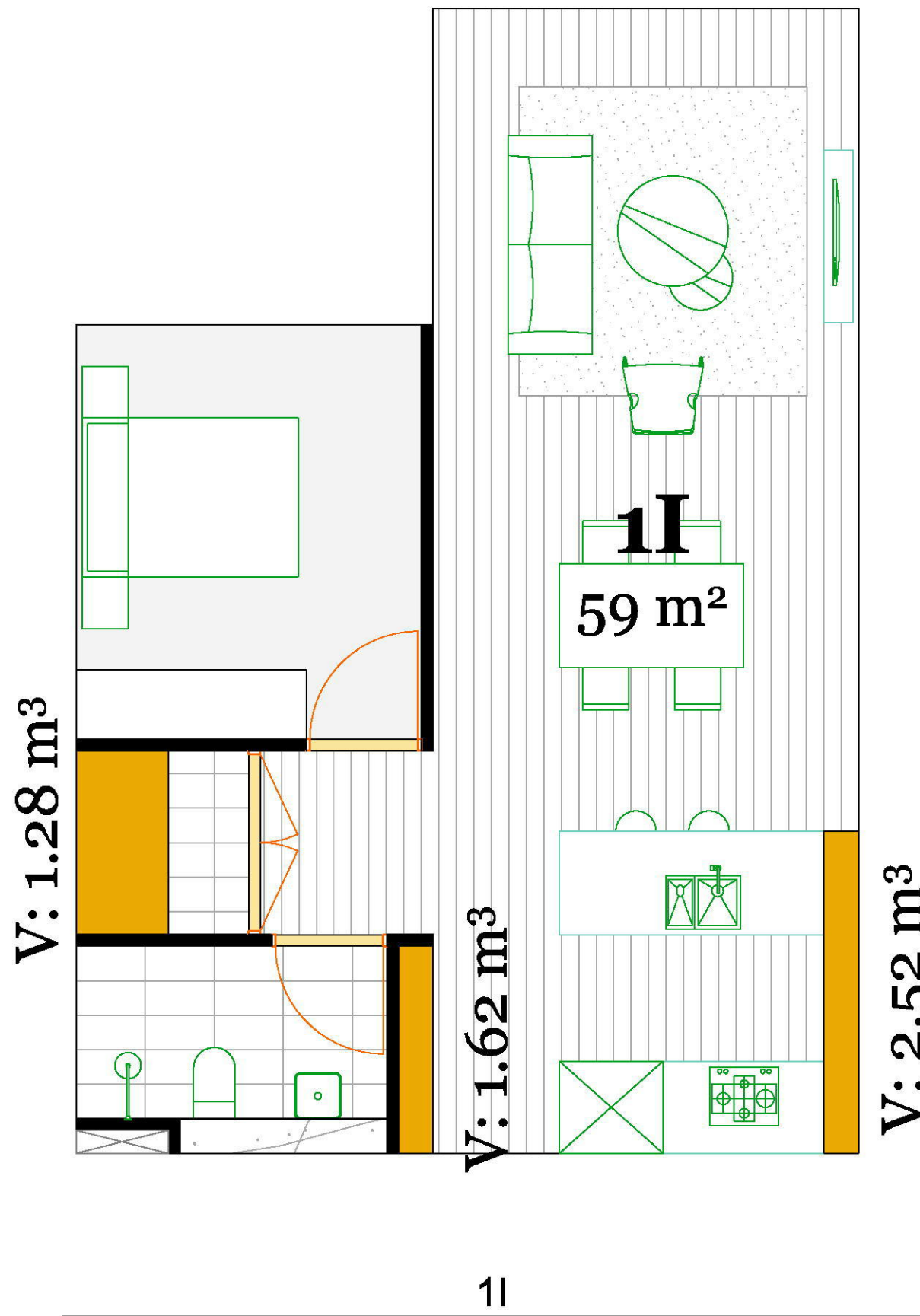
Drawing Series  
Drawing Name  
Calculations  
Apartment Mix - Lot 210

Drawing Number  
Revision  
DA603  
A



Studio ADG Storage Requirement : 4m³

5.26m³ provied within the apartment

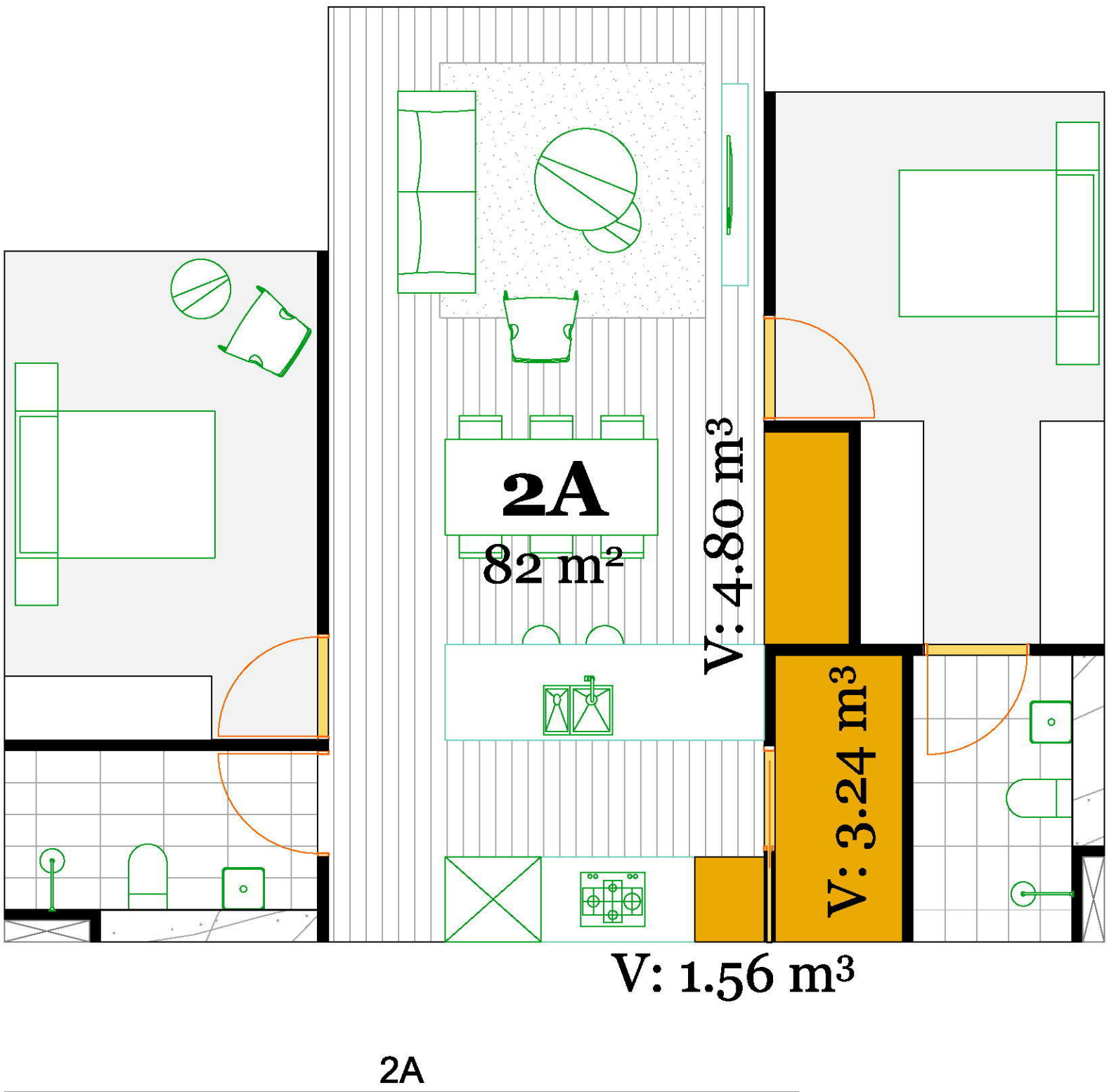


1 Bed ADG Storage Requirement : 6m³

5.42m³ provied within the apartment

5.77m³ provied within the basement

Total : 11.19 m³



2 Bed ADG Storage Requirement : 8m³

9.6m³ provied within the apartment

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Project Number  
Project Address  
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Checked By  
Date  
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Drawing Series  
Drawing Name  
Calculations  
Storage Plans

Drawing Number  
Revision  
DA604  
A

Rev.	Date	By	Ckd	Description
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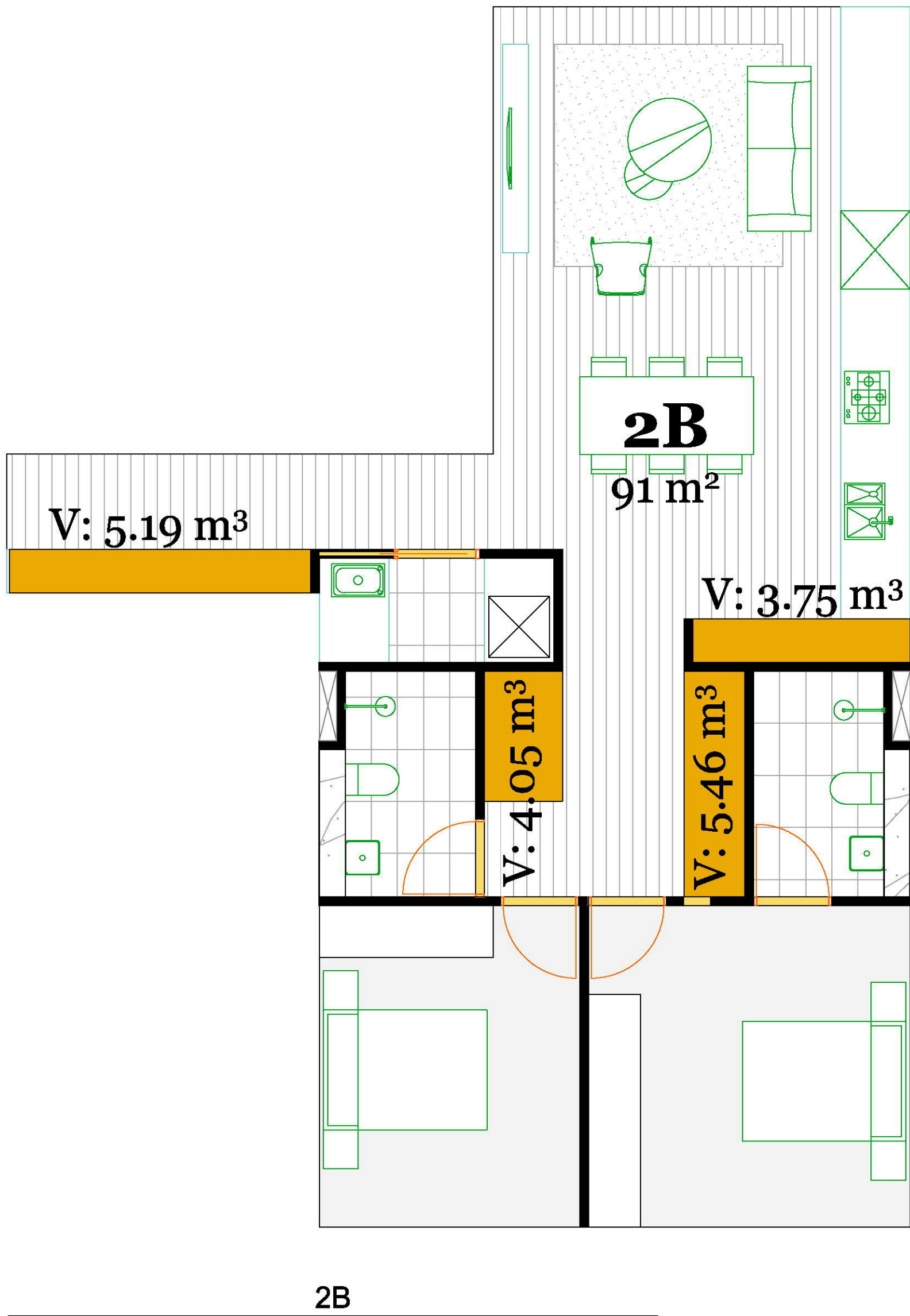
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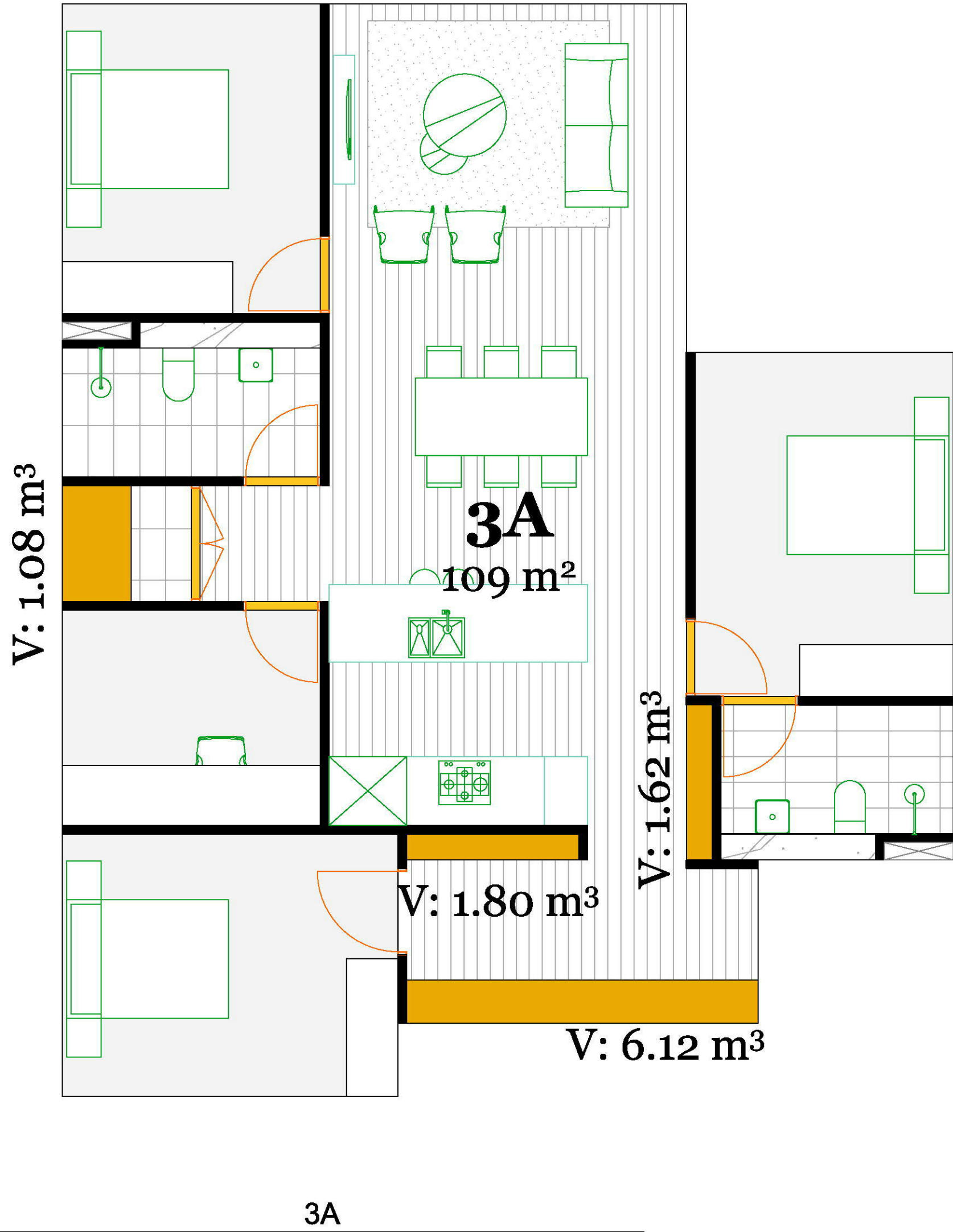
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Drawing Name  
Calculations  
Storage Plans

Drawing Number  
Revision  
DA605  
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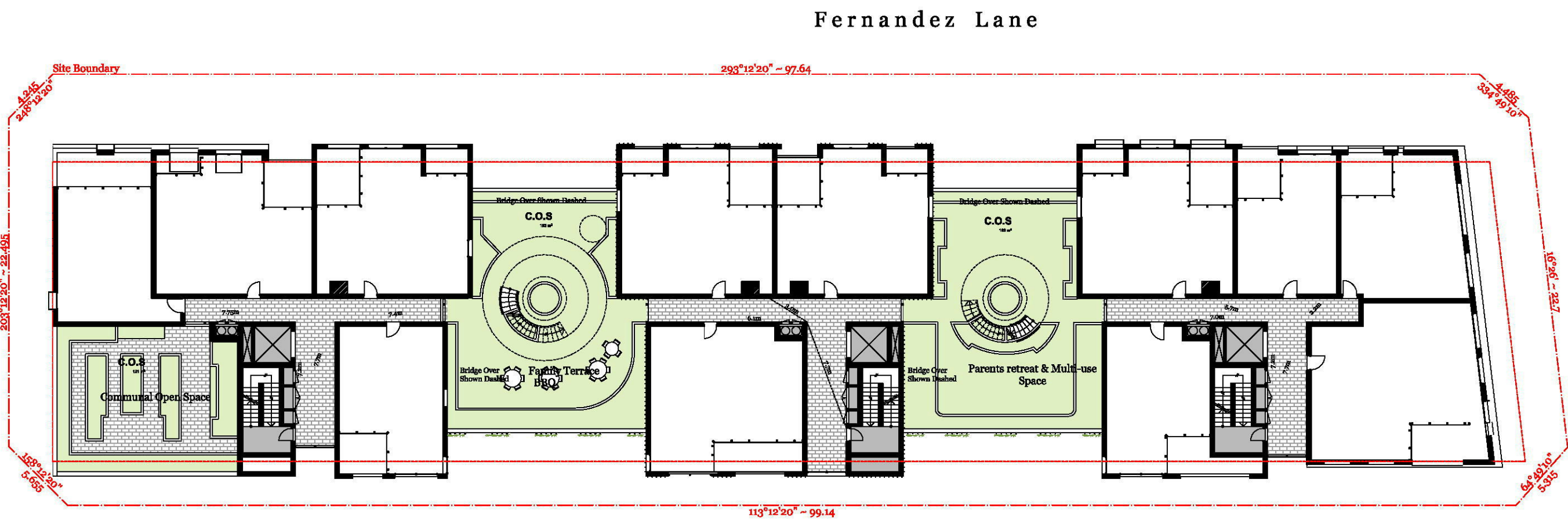
2 Bed ADG Storage Requirement : 8m³

18.45m³ provied within the apartment

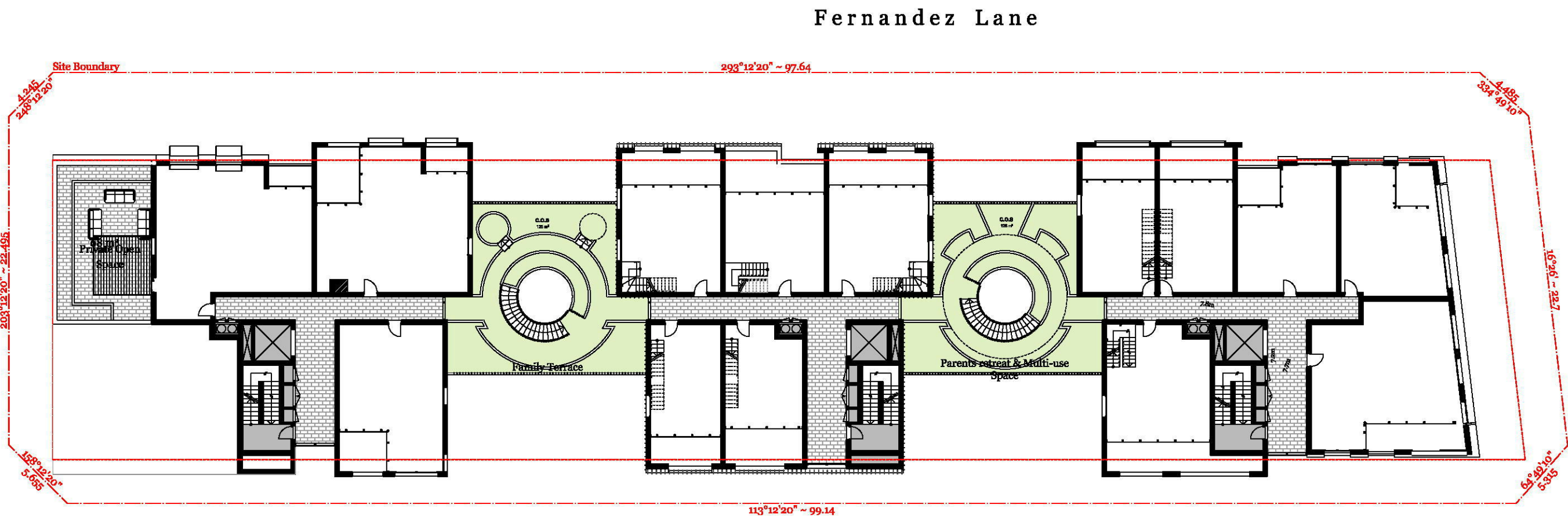


3 Bed ADG Storage Requirement : 10m³

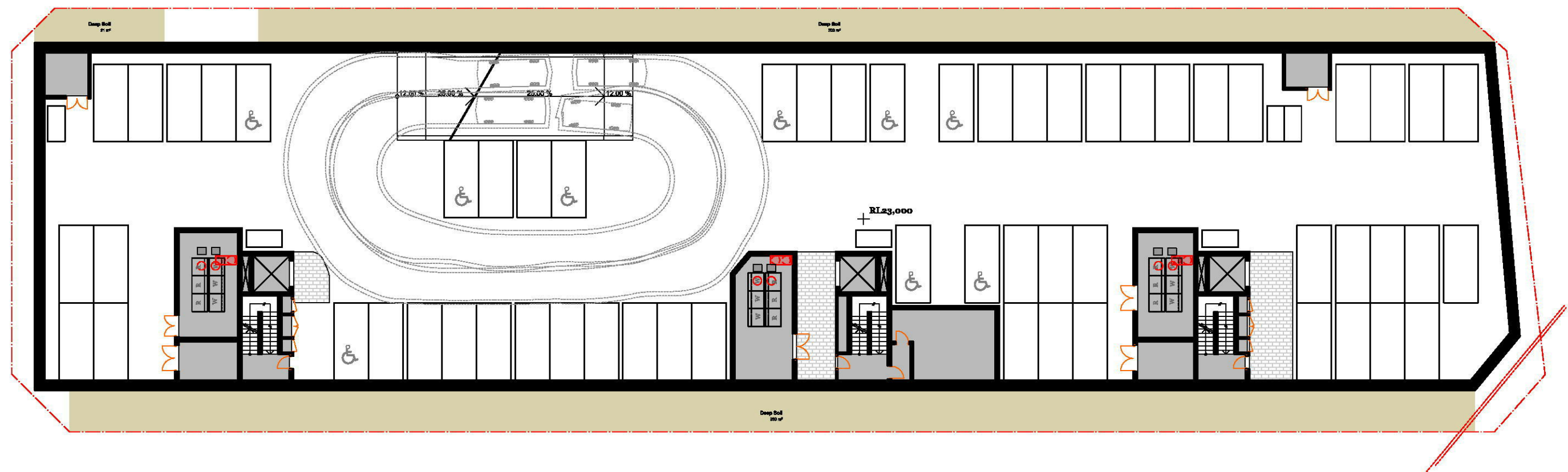
10.62m³ provied within the apartment



Level 7      Communal Open Space: 507 sqm



Level 8      Communal Open Space: 250 sqm



Basement 01      Deep Soil

**COMMUNAL OPEN SPACE - LOT 210**

Level 7: 507 sqm  
Level 8: 250 sqm  
TOTAL: 757 sqm  
25% of the Site Area

Calculated on Lot 210 Site Area of 3,084m<sup>2</sup>

**DEEP SOIL - LOT 210**

Basement Level: 522sqm  
TOTAL:  
16.9% of the Site Area

Calculated on Lot 210 Site Area of 3,084m<sup>2</sup>

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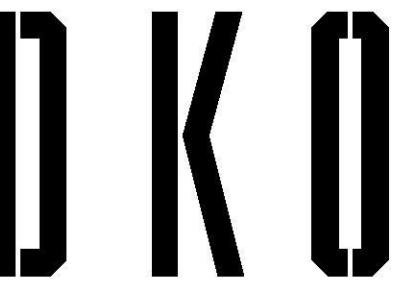
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Date  
Scale

March 2019  
1:300 @ A1

Drawing Series  
Drawing Name

Calculations  
C.O.S Calculation - Lot 210

Lord Sheffield Circuit Penrith  
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Lot 210&211 Lord Sheffield  
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Drawing Number **DA606**  
Revision **A**